5.7 NATIONWIDE HOUSE INTERGY BATTING SCHEME 55.5 MJ/m² www.nathers.gov.au

0007910912-04 01 Aug 2022

Assessor Jamie Bonnefin
Accreditation No. 10056
Address

Address 16 Addison Road, Manly, NSW, 2095



hstar.com.au

Proposed New Dwelling
for Patrick and Jenny Joyce
16 Addison Rd, Sydney

Development Application Is

Development Application Issue
July 2022

Revision

Cover Sheet Site Survey Site Plan 1:200 1:200 1:100 1:100 Boatshed Plan 1.3 Lower Floor Plan 1:100 1:100 1:100 Ground Floor Plan First Floor Plan Roof Plan 1:200 1:200 2.1 Elevations Elevations 1:200 1:200 Sections Sections Setback and Building Height Shadow Diagram Shadow Diagram 4.2 4.3 Shadow Diagram View Comparisons Artist Impression North Artist Impression South Material Palette

Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6 543.8x0.6= 326.3m²

Zone: E4 Environmental Living

L4 LIIVIIOIIIIIeiitai Livii

Max. Building Height: 8.5m

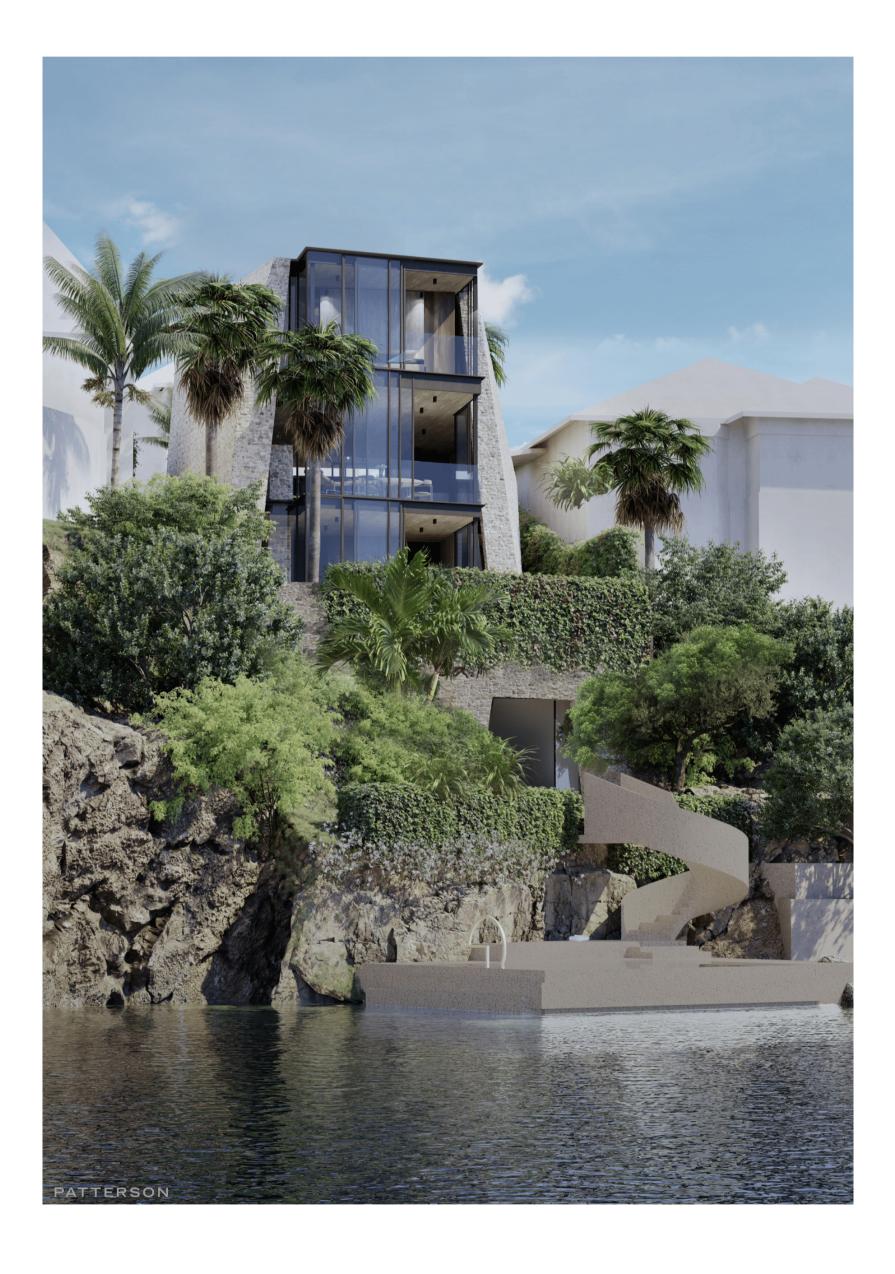
Max. Wall Height:
7.2m and 8m calculated for gradient

Max. Roof Slope:

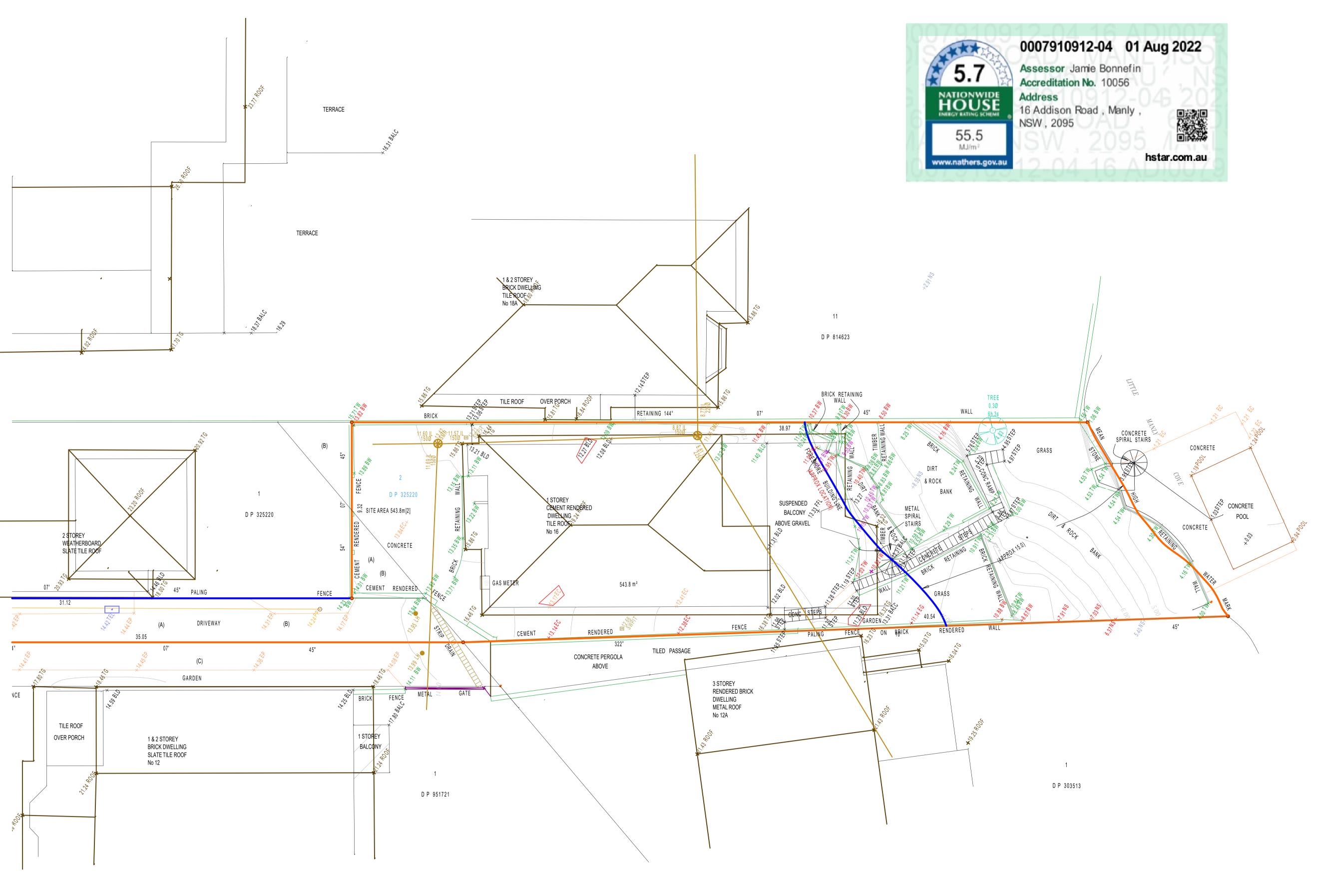
Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area Bandicoot and Penguin Significant Area Biodiversity Overlay



8/07/2022 **REV A**

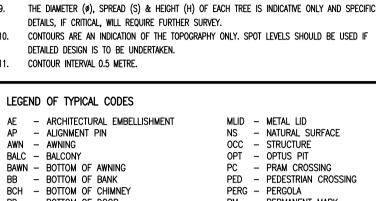


DENOTES SEWER LINE

NOTE: FORESHORE BUILDLING LINE FROM L.E.P. MAP

* APPROXIMATE LOCATION (15 METRES FROM M.H.W.M. 2013)

(A) RIGHTS OF WAY (RE A735434, A750076)
(B) BENEFITED BY RIGHTS OF WAY (RE A750076, B795218)
(C) RIGHT OF WAY (RE 750076)



BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED

RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND

SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY AND THE RELEVANT SERVICE DIAGRAMS OF THE VARIOUS AUTHORITIES. ALL SERVICE

RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE

MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. LINKER SURVEYING PTY LTD BEAR NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN

ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY

TYPICAL NOTES:

ORIGIN OF LEVELS PM 877, R.L.18.704 (A.H.D.)

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN.

ACCURATE FOR PLANNING PURPOSES ONLY.

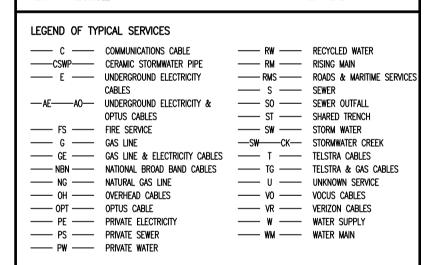
SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

BEARINGS ARE ON MGA NORTH

BY DEPARTMENT OF LANDS NSW.

AE - ARCHITECTURAL EMBELLISHMENT AP - ALIGNMENT PIN BALC - BALCONY BAWN - BOTTOM OF AWNING BB - BOTTOM OF BANK BCH - BOTTOM OF CHIMNEY PM - PERMANENT MARK BD — BOTTOM OF DOOR PP - POWER POLE BDY - BOUNDARY BF - BOTTOM OF FENCE RCK - ROCK BHR - BOTTOM OF HANDRAIL RLWY - RAILWAY BIT — BITUMEN RM - REFERENCE MARK BK - BOTTOM OF KERB RR - ROOF RIDGE RSN - CONCRETE NAIL BM - BENCH MARK SEW - SEWER BOL — BOLLARD BR — BOTTOM OF ROCK SHR - SHRUB SIP - SEWER INSPECTION PIT BRK - BRICK
BRW - BOTTOM OF RETAINING WALL
BS - BOTTOM OF STEPS SLH - SEWER LAMP HOLE SMH - SEWER MANHOLE SP - SIGN POST SSM - STATE SURVEY MARK BW - BOTTOM OF WALL BWIN - BOTTOM OF WINDOW SV - STOP VALVE CHIM — CHIMNEY
CL — CENTRELINE
CLID — CONCRETE LID SW - STORM WATER TARCH- TOP OF ARCH TAWN - TOP OF AWNING TB - TOP OF BANK COM - COMMUNICATIONS PIT TBX - TELSTRA BOX CONC - CONCRETE
CPT - CARPORT TCH - TOP OF CHIMNEY TD - TOP OF DOOR D – DOOR TEL - TELSTRA PIT DD - DISH DRAIN TELP - TELSTRA PILLAR TF - TOP OF FENCE DH - DRILL HOLE DHW - DRILL HOLE & WINGS TOP OF GUTTER THR - TOP OF HANDRAIL EB - EDGE OF BITUMEN TRAFFIC ISLAND EBOX - ELECTRICITY BOX TOP OF KERB TRAFFIC LIGHTTOP OF PARAPET EC — EDGE OF CONCRETE ED — EDGE OF DOOR EG – EDGE OF GARDEN ELEC – ELECTRICITY PIT TR – TREE TRF – TOP OF ROOF EP - EDGE OF PATH TRK - TOP OF ROCK ER - EDGE OF ROAD TRW - TOP OF RETAINING WALL TS - TOP OF STEPS - FLOOR LEVEL TW - TOP OF WALL - FINISHED FLOOR LEVEL TWIN - TOP OF WINDOW FP - FENCE POST us – underside GD - GLASS DOOR UAWN - UNDERSIDE OF AWNING UKS — UNKNOWN SERVICE USB — UNDERSIDE OF BEAM GL - GROUND LEVEL GM - GAS METER HPG - HIGH POWERED GAS USC - UNDERSIDE OF CEILING HR - HANDRAIL - UNDERSIDE OF EAVE HYD - HYDRANT USG - UNDERSIDE OF GUTTER IL - INVERT LEVEL VENT VER - VERANDAH LIN - LINTEL LP - LAMP POST VC - VEHICLE CROSSING W - WINDOW WM - WATER METER MANHOLE



ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS
 NOTED ON THE PLAN ARE APPROXIMATELY ONLY.

ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM SERVICE AUTHORITY PLANS PROVIDED.

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THE LOCATION OF SERVICES PETWEEN SUBVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIACRAMATICALLY.

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THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY ONLY USING THE SERVICE DIAGRAMS AS PROVIDED. THE EXACT LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PILING. NO WARRANTY IS GIVEN AGAINST THE POSSIBILITY OF THE EXISTENCE OF FURTHER UNCHARTED SERVICES.

ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS

AUTHORITIES, IN ACCORDANCE WITH STANDARD "DIAL BEFORE YOU DIG" PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



Liability limited by a scheme approved under Professional Standards Legislation

REDUCTION RATIO 1:100

1 2 3 4 5 6 7 8 9 10

LENGTHS ARE IN METRES

CLIENT: CHRISTOPHER HO

TITLE No: 2/325220
DATUM: A.H.D.
DATE OF SURVEY: 15.04.16
SURVEYOR: KB

DRAFTER: PH

REF:160320 ISSUE:1 ISSUE DATE:65 SHEET SIZE:AO

DIAL BEFORE YOU DIG

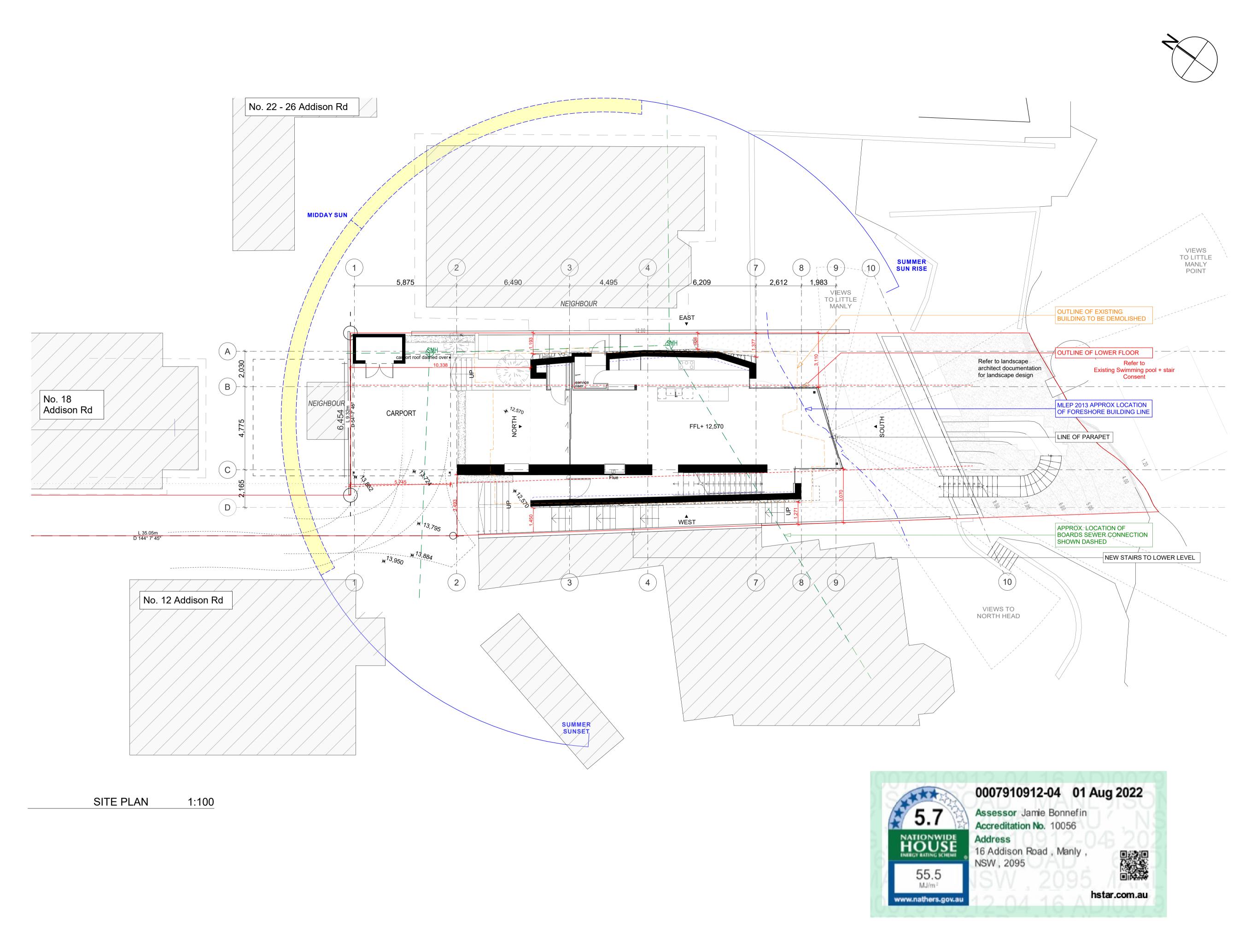
SHEET 1 OF 1 SHEETS

PLAN OF DETAIL & LEVELS AT

No 16 ADDISON ROAD MANLY



Suite 301, Level 3, 55 Holt Street
Surry Hills NSW 2012
PO Box 1807
Strawberry Hills NSW 2012
t: (02) 9212 4655
f: (02) 9212 5254
email: reception@linkersurveying.com.au
web site: www.linkersurveying.com.au



Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6 543.8x0.6= 326.3m²

Zone: E4 Environmental Living

Max. Wall Height: 7.2m and 8m calculated for gradient

Max. Building Height: 8.5m

Max. Roof Slope: 35°

Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area Bandicoot and Penguin Significant Area Biodiversity Overlay

Dwelling Gross Floor Area

22m2 Boat shed 84.3m2 Lower Floor Ground Floor 106.4m2 First Floor 100.3m2

TOTAL: 313m2 (excludes plant, vertical circulation & basement storage)

Storage Shed 5m2

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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16 Addison Rd, Sydney

Consultants	
Quantity Surveyors	Dean, Murray & Partners Ltd
Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

designed peer review checked scale 1:100 @ A1 date 8/07/2022

Site Plan 1:200 @ A3

New Development Application

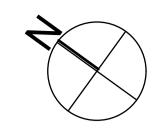
Not For Construction

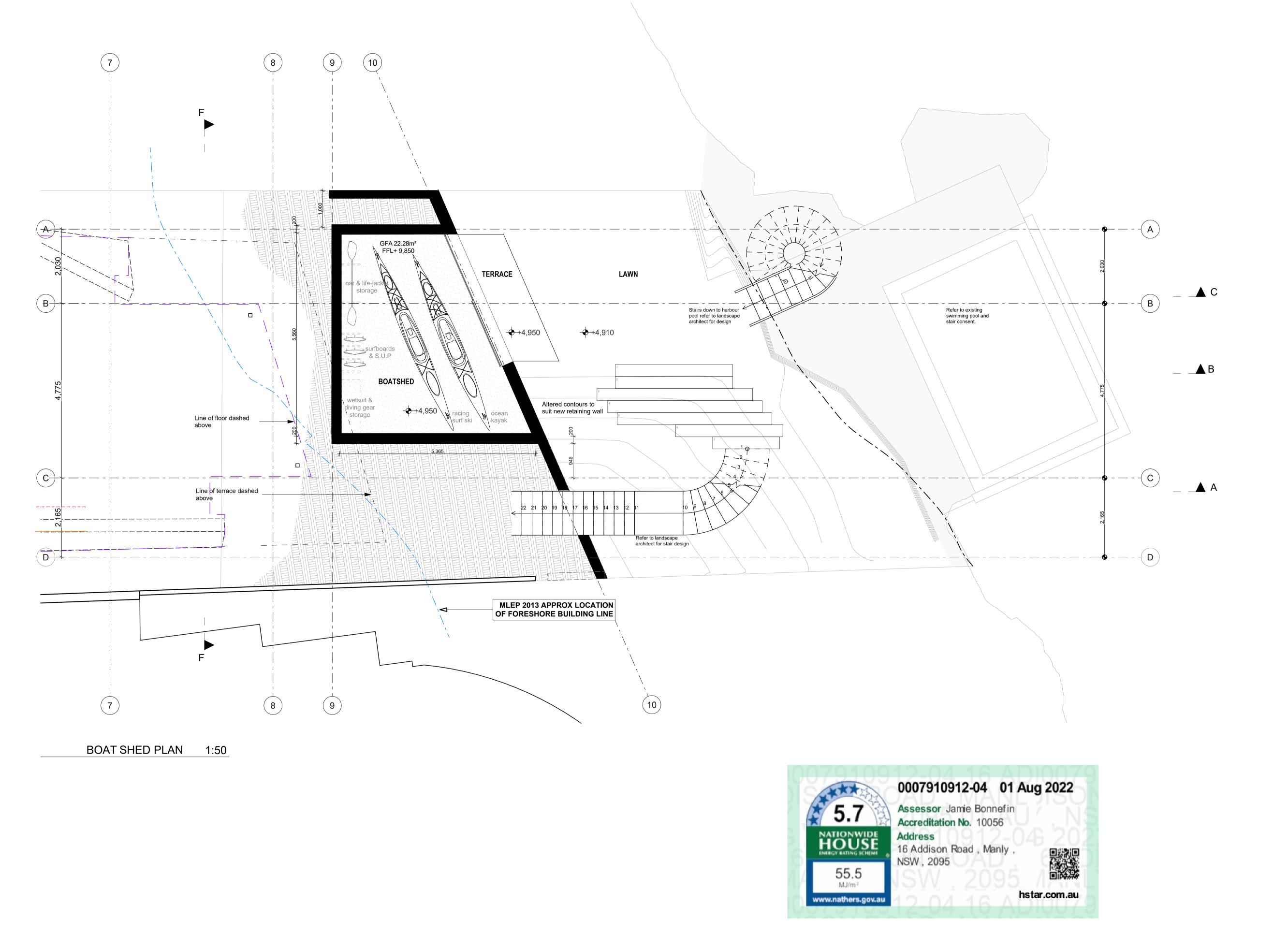
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18010

sheet no.

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designed	**	peer review	**
drawn	**	checked	**
scale 1:50	@ A1	date 8/07/2	2022

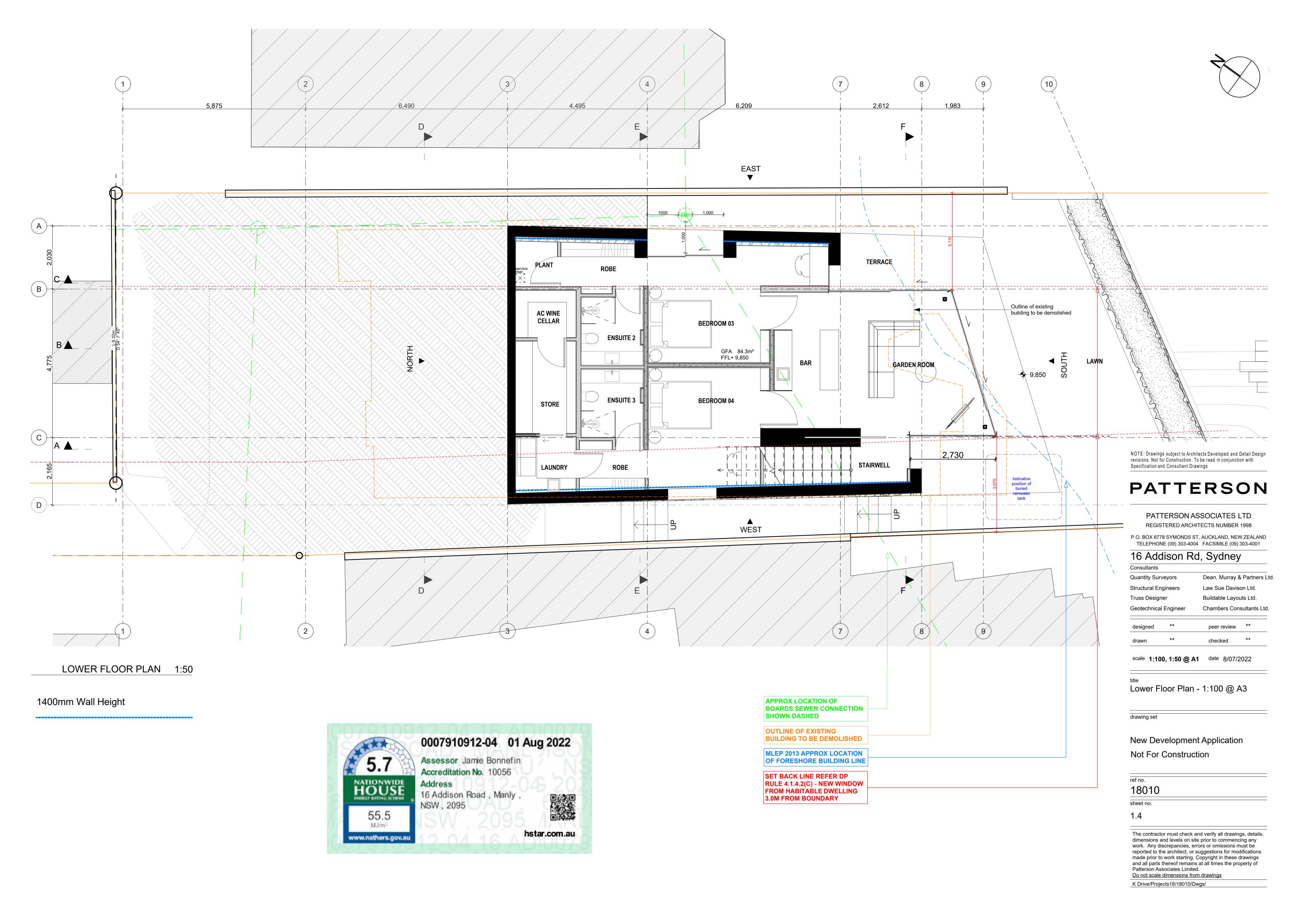
Boat Shed Plan - 1:100 @ A3

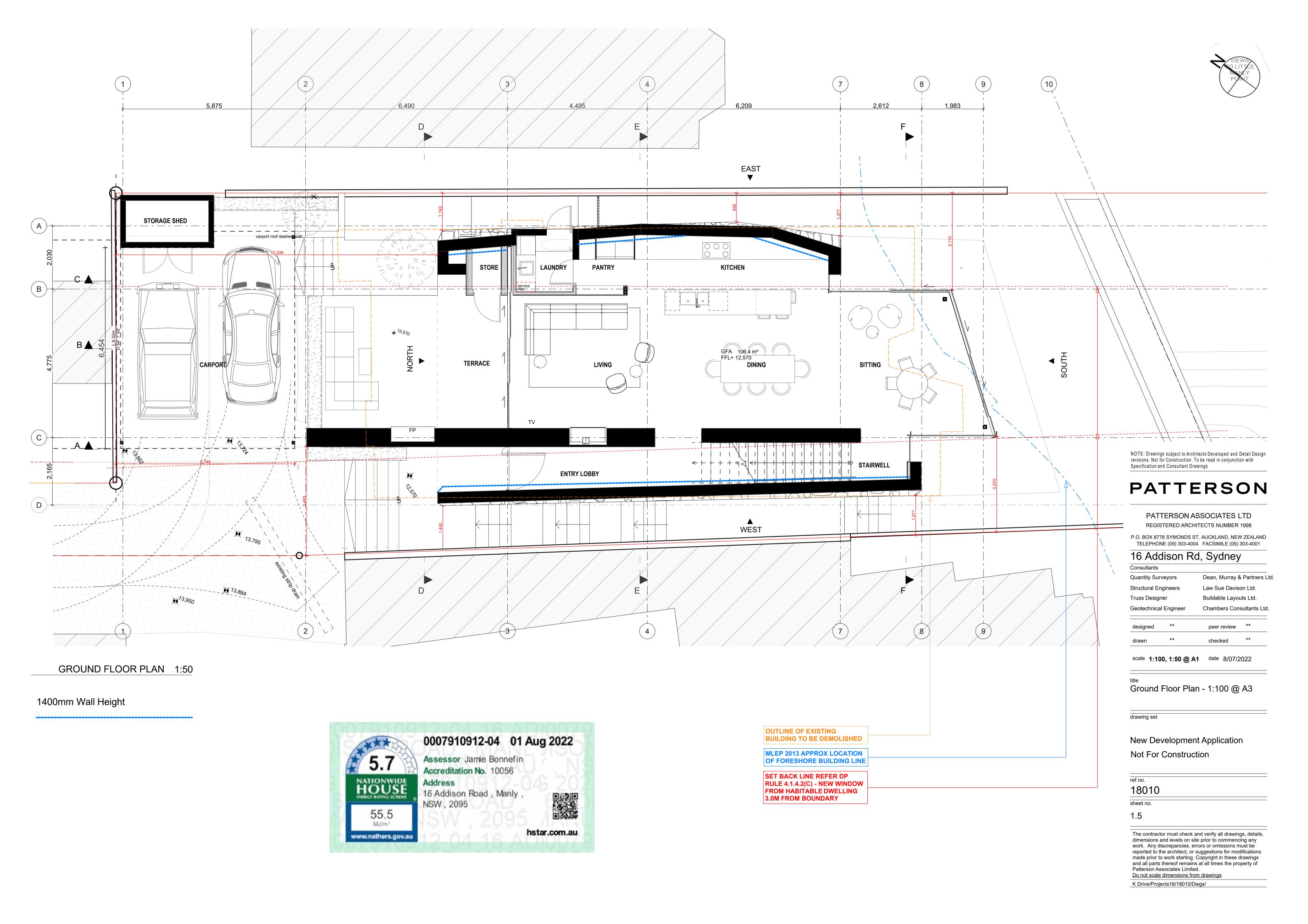
New Development Application Not For Construction

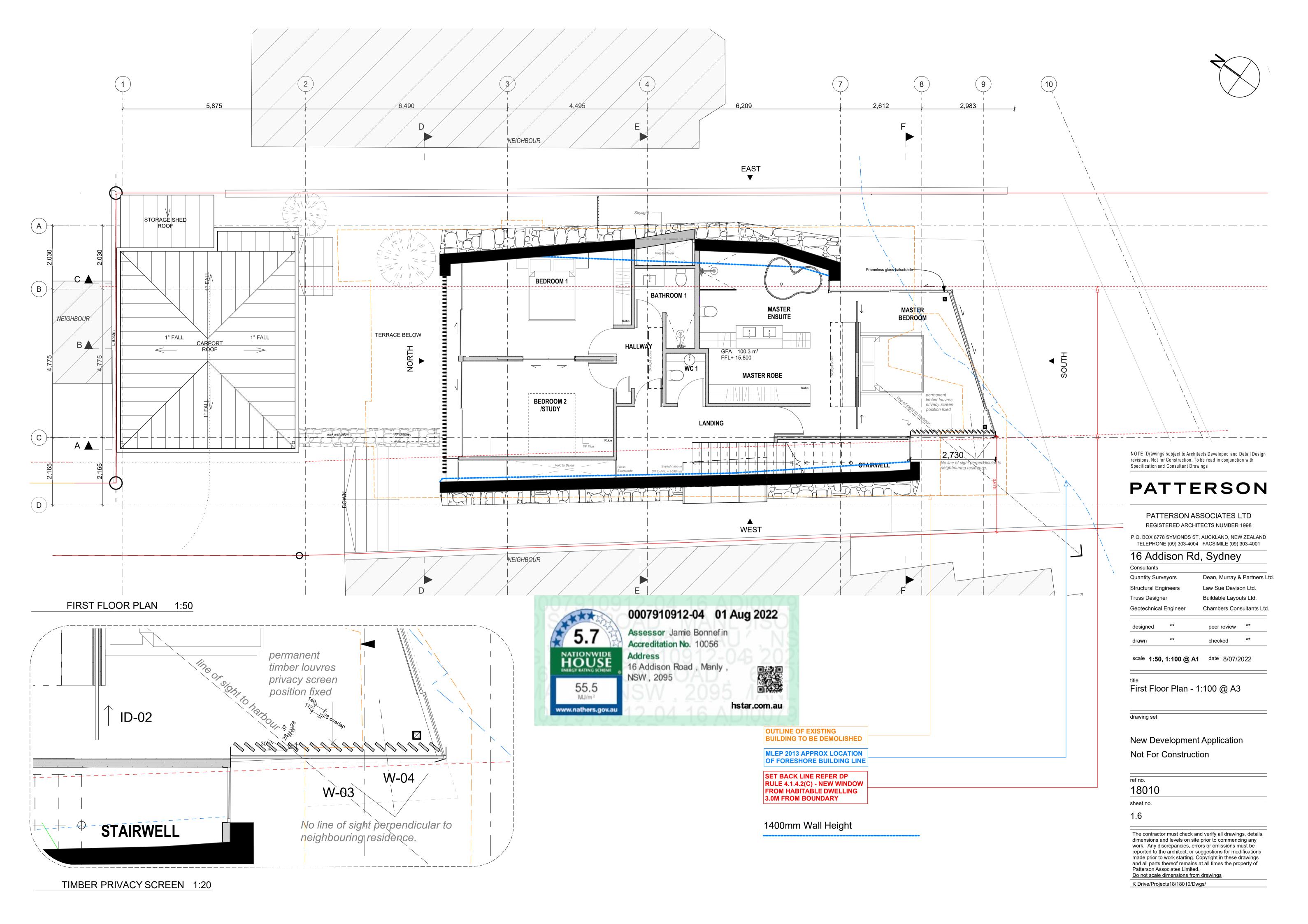
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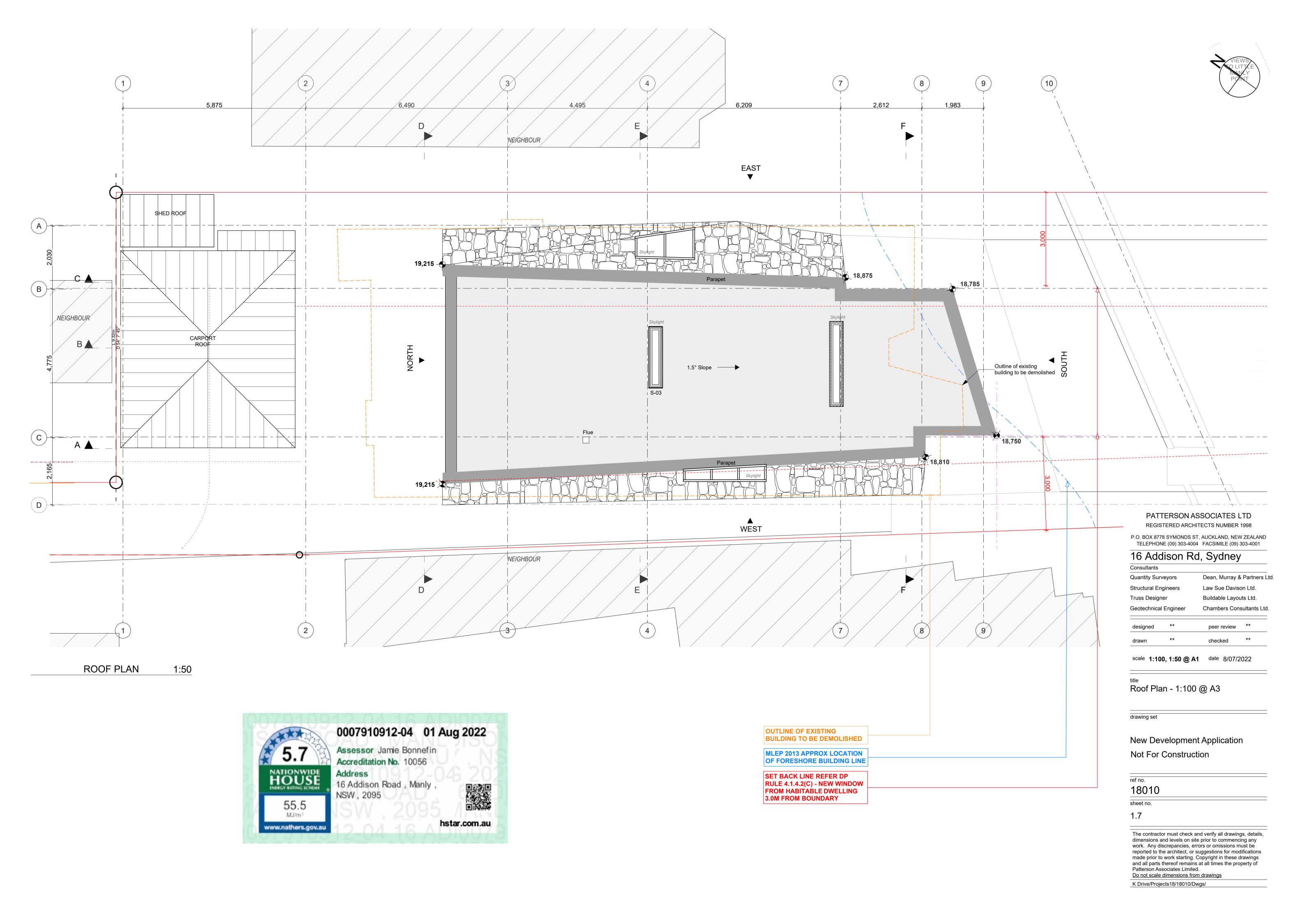
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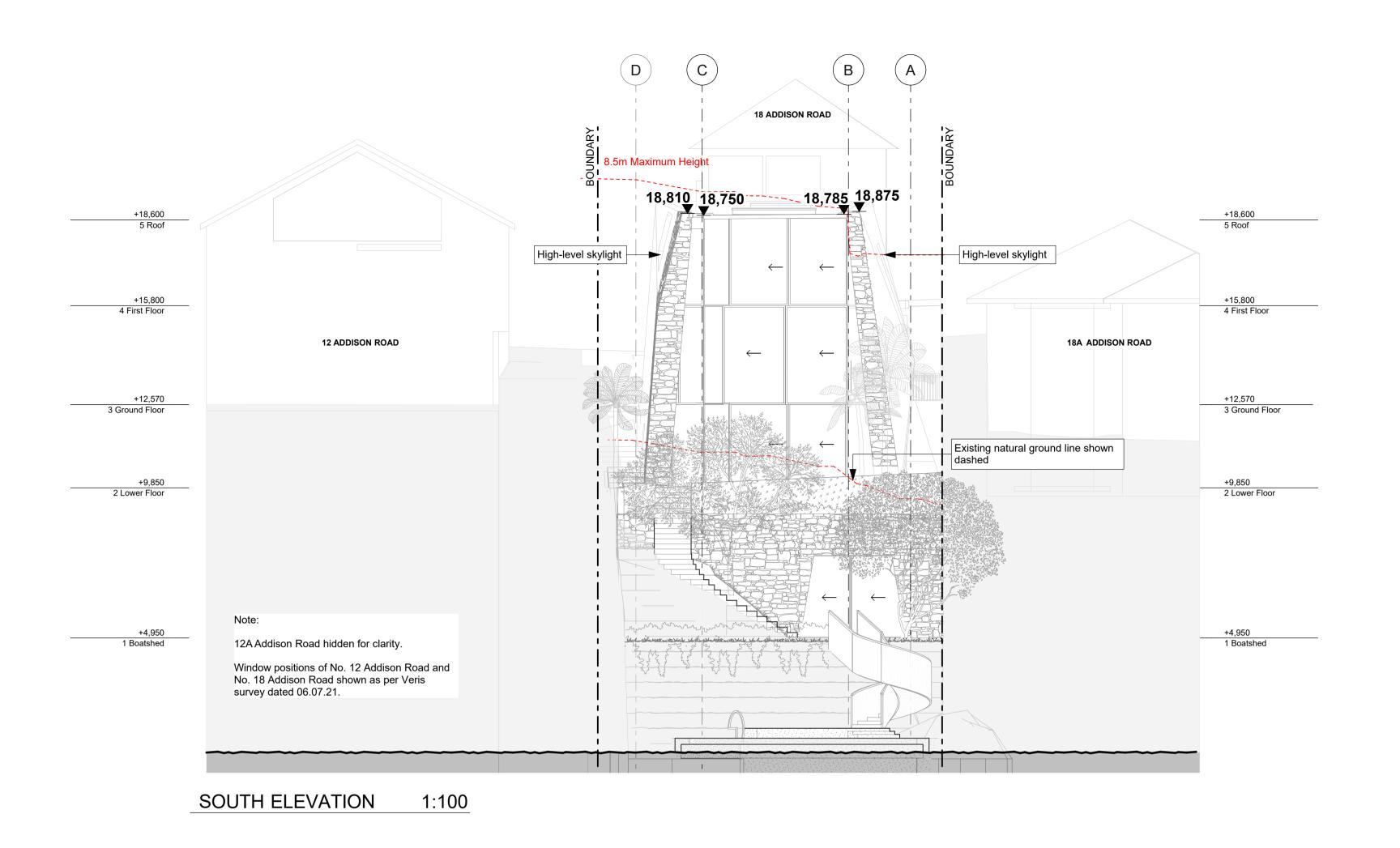
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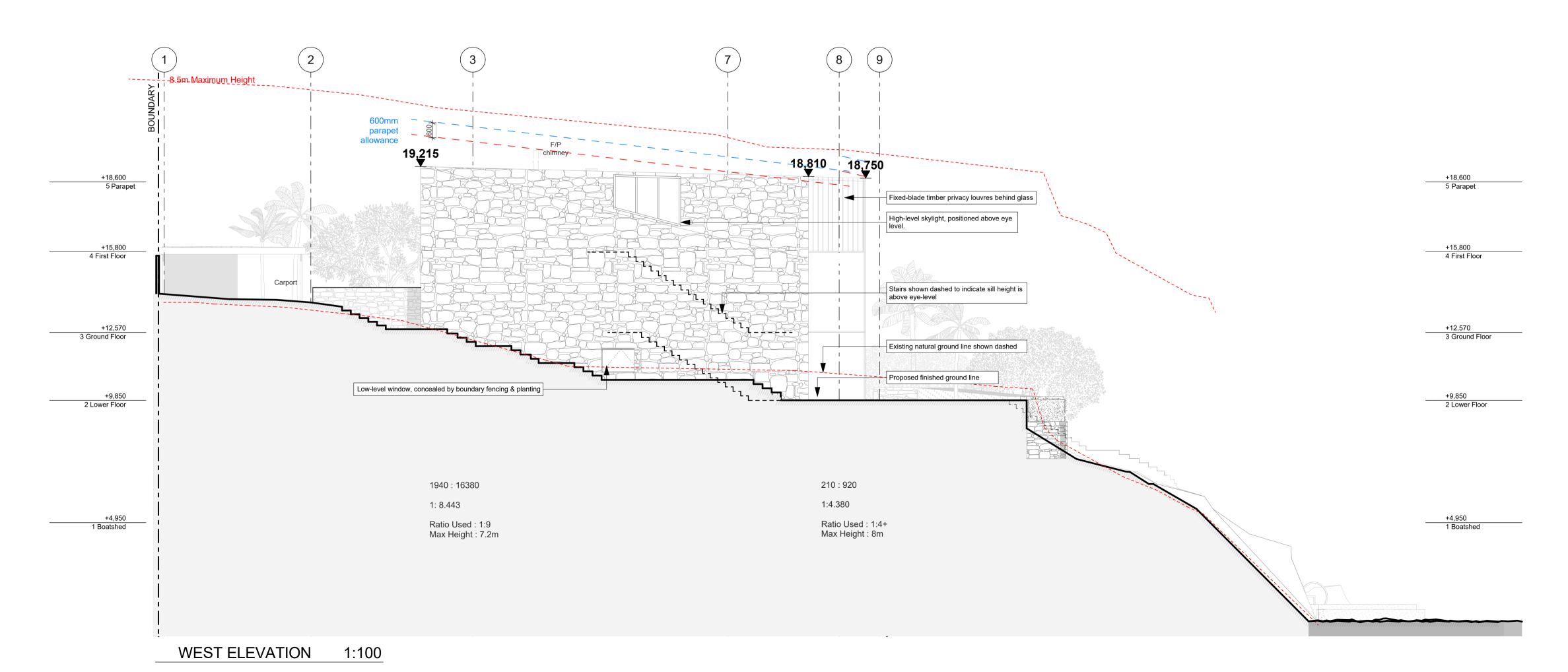


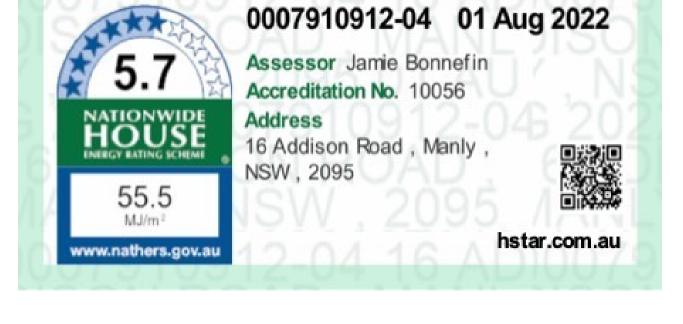












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Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.
designed **	peer review **
drawn **	checked **

scale **1:100 @ A1** date 8/07/2022

Elevations - 1:200 @ A3

drawing set

New Development Application

Not For Construction

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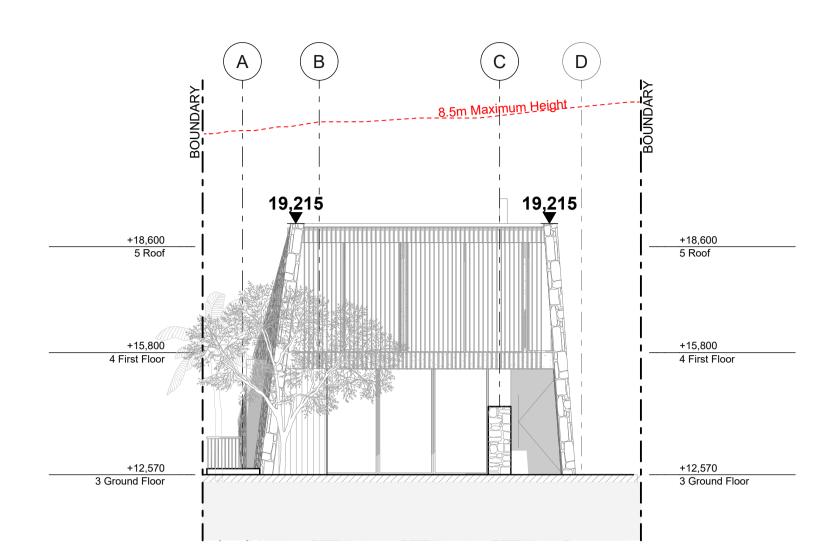
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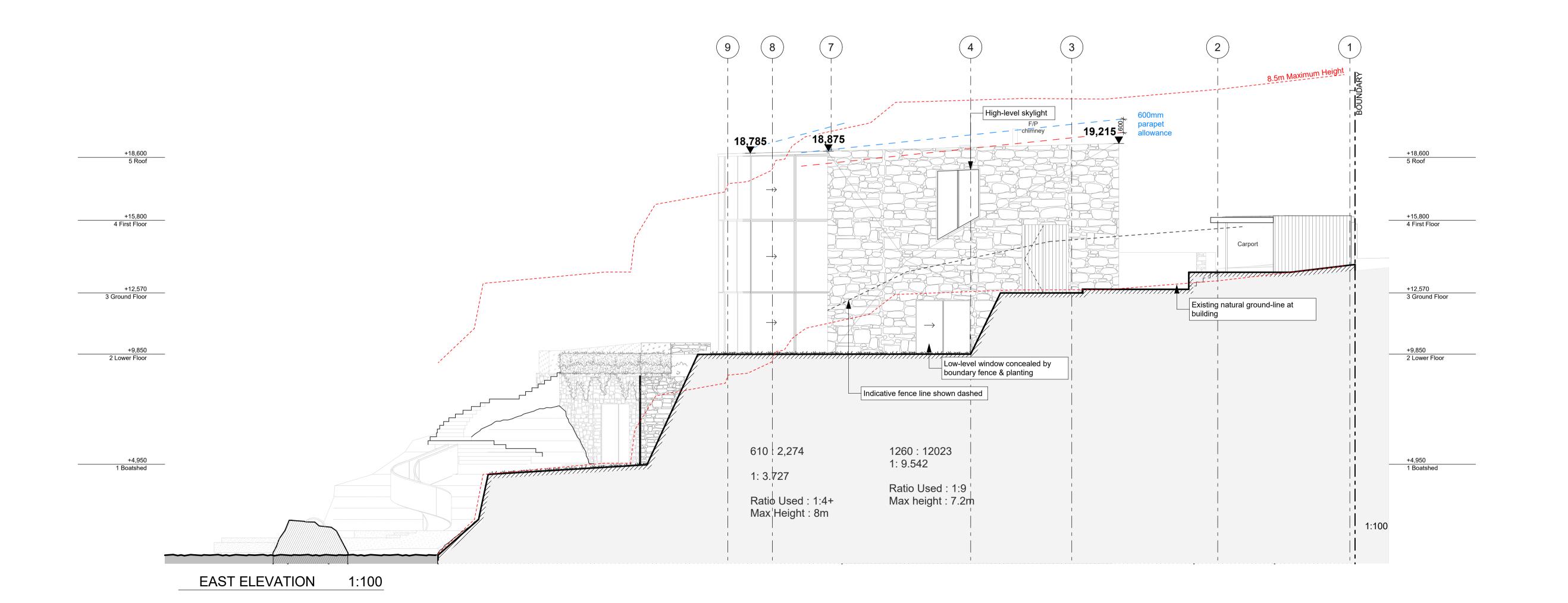
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1:100

NORTH ELEVATION



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Dean, Murray & Partners Ltd.

16 Addison Rd, Sydney Consultants

Quantity Surveyors

Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd
designed **	peer review **

designed	**	peer review	**
drawn	**	checked	**
scale 1:10	0 @ A1	date 8/07/20	22

title Elevations - 1:200 @ A3

drawing set

New Development Application

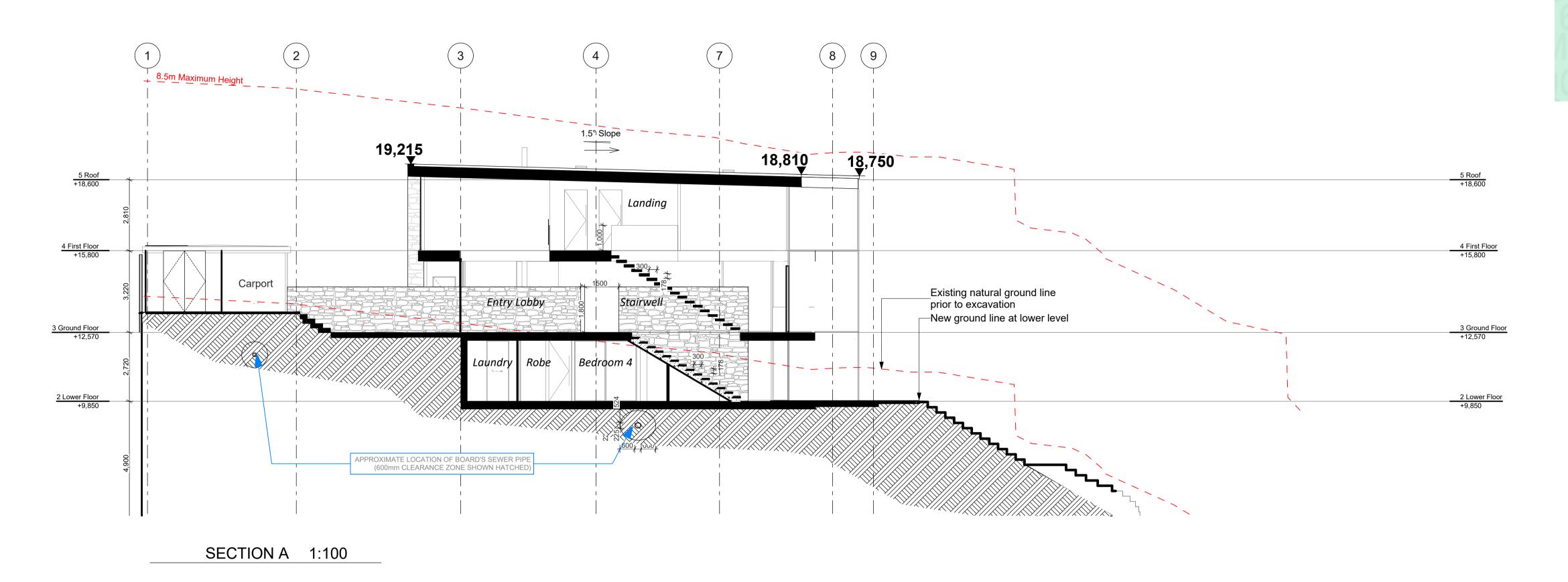
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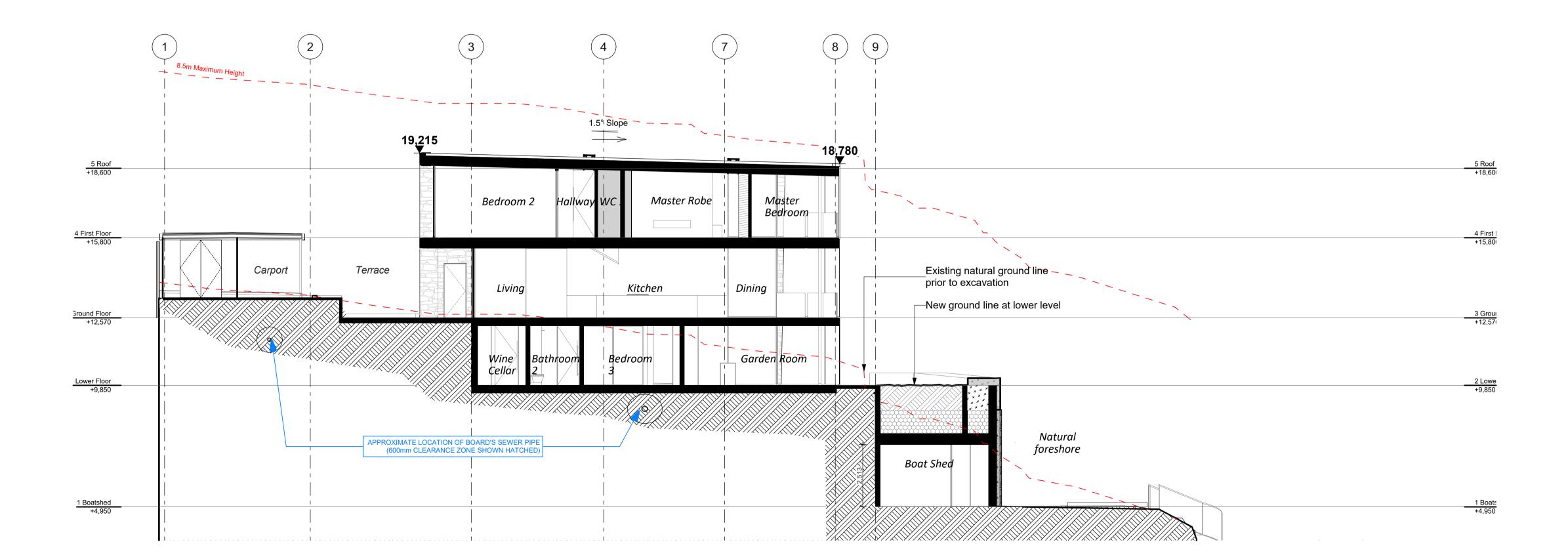
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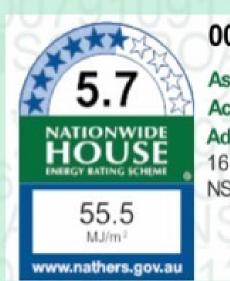
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SECTION B 1:100



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Quantity Surveyors	Dean, Murray & Partners L
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Geotechnical Engineer	Chambers Consultants Ltd

designed	**	peer review	**
drawn	**	checked	**
scale 1:1	00 @ A1	date 8/07/2	022

title Sections - 1:200 @ A3

drawing set

New Development Application Not For Construction

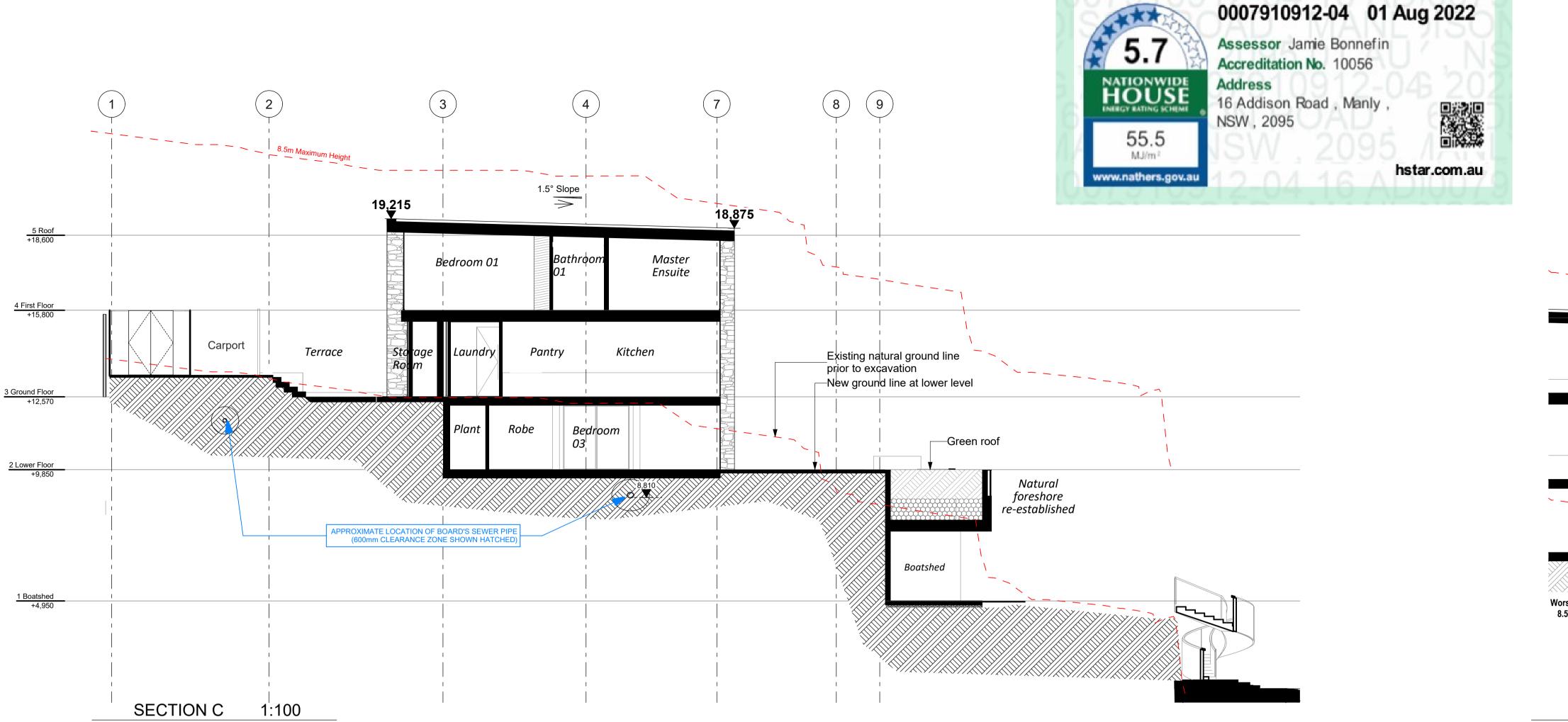
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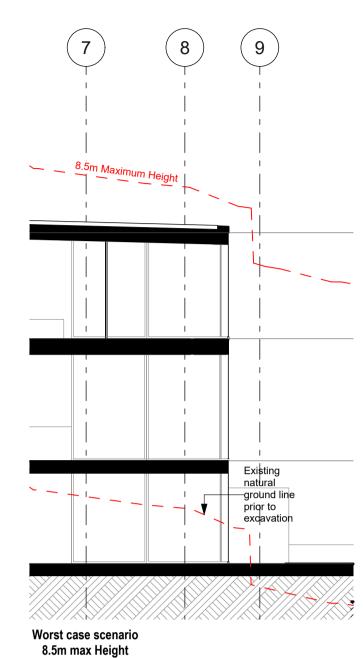
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SECTION 1C

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16 Addison Rd, Sydney Consultants

designed **	peer review **	
Geotechnical Engineer	Chambers Consultants Ltd.	
Truss Designer	Buildable Layouts Ltd.	
Structural Engineers	Law Sue Davison Ltd.	
Quantity Surveyors	Dean, Murray & Partners Ltd.	

checked scale 1:100 @ A1 date 8/07/2022

Sections - 1:200 @ A3

drawing set

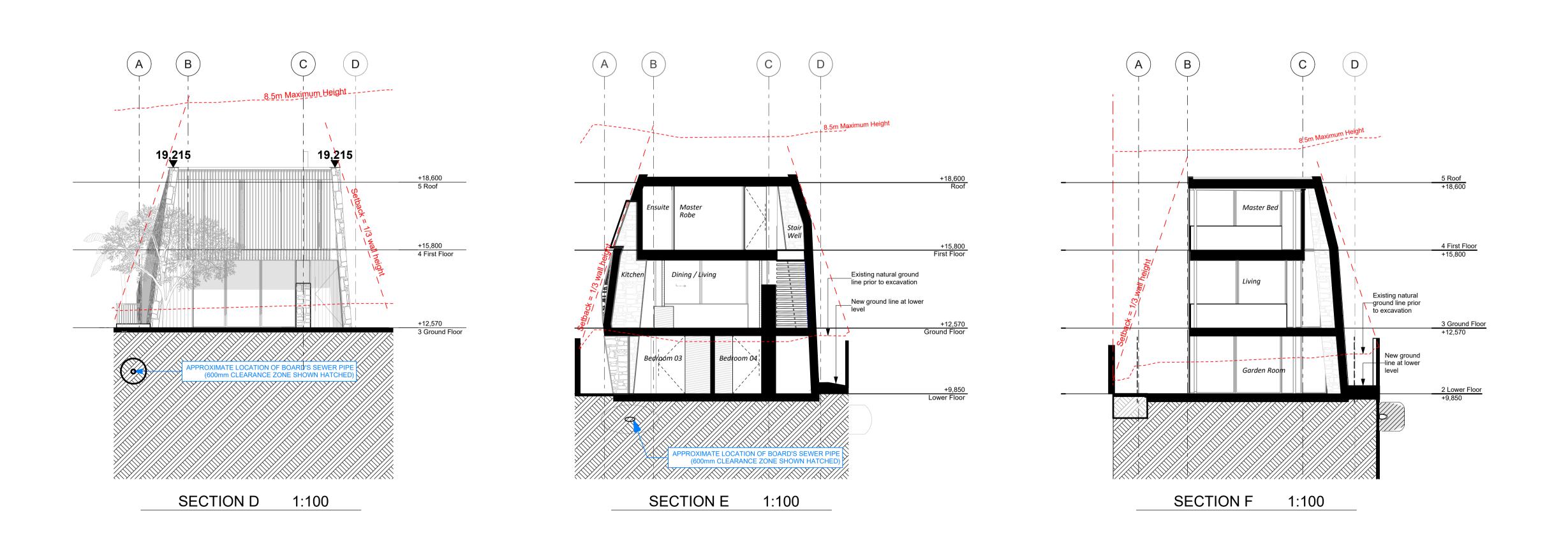
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HOUSE INERGY EATING SCHEME www.nathers.gov.au

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8.5m Rolling Height Plane - SE View



8.5m Rolling Height Plane - SW View



1/3 Boundary Setback - SE View



1/3 Boundary Setback - SW View

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Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd

designed	**	peer review	**
drawn	**	checked	**
scale		date 8/07/20)22

Setback & Building Height Diagram

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3.3

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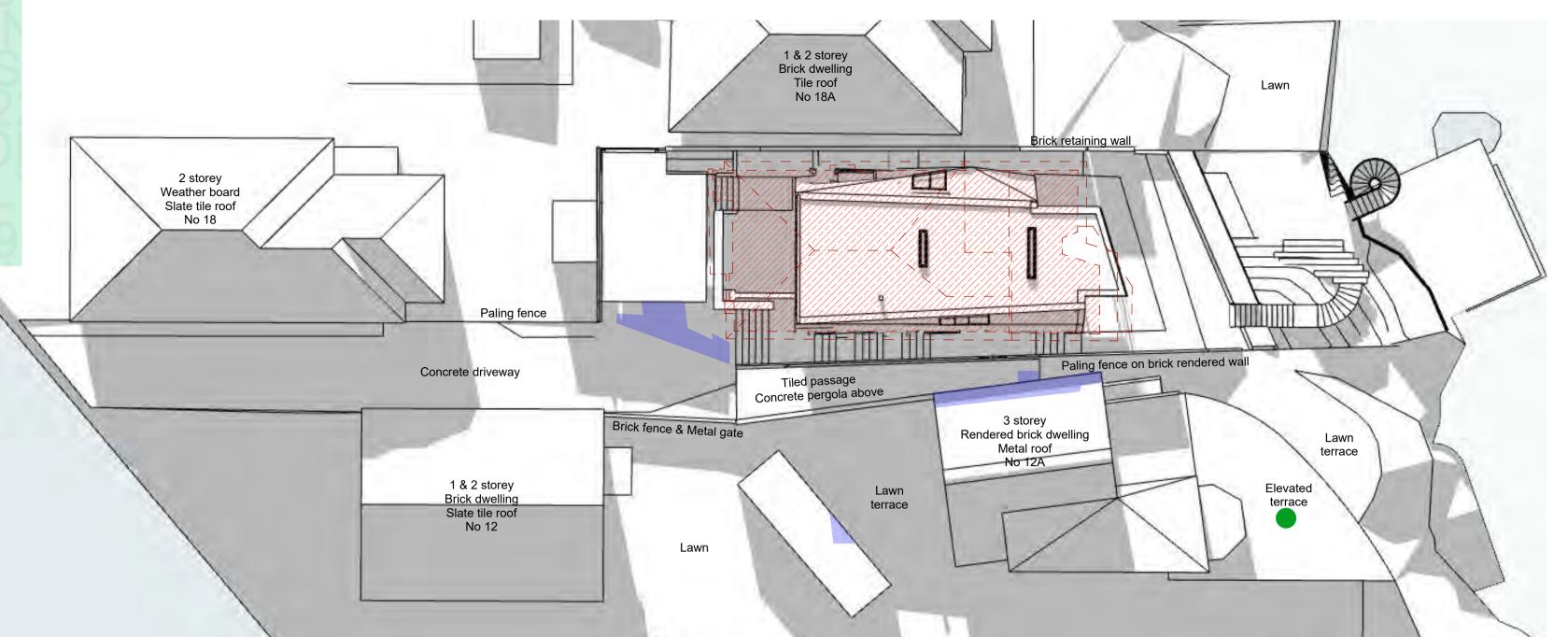
0007910912-04 01 Aug 2022

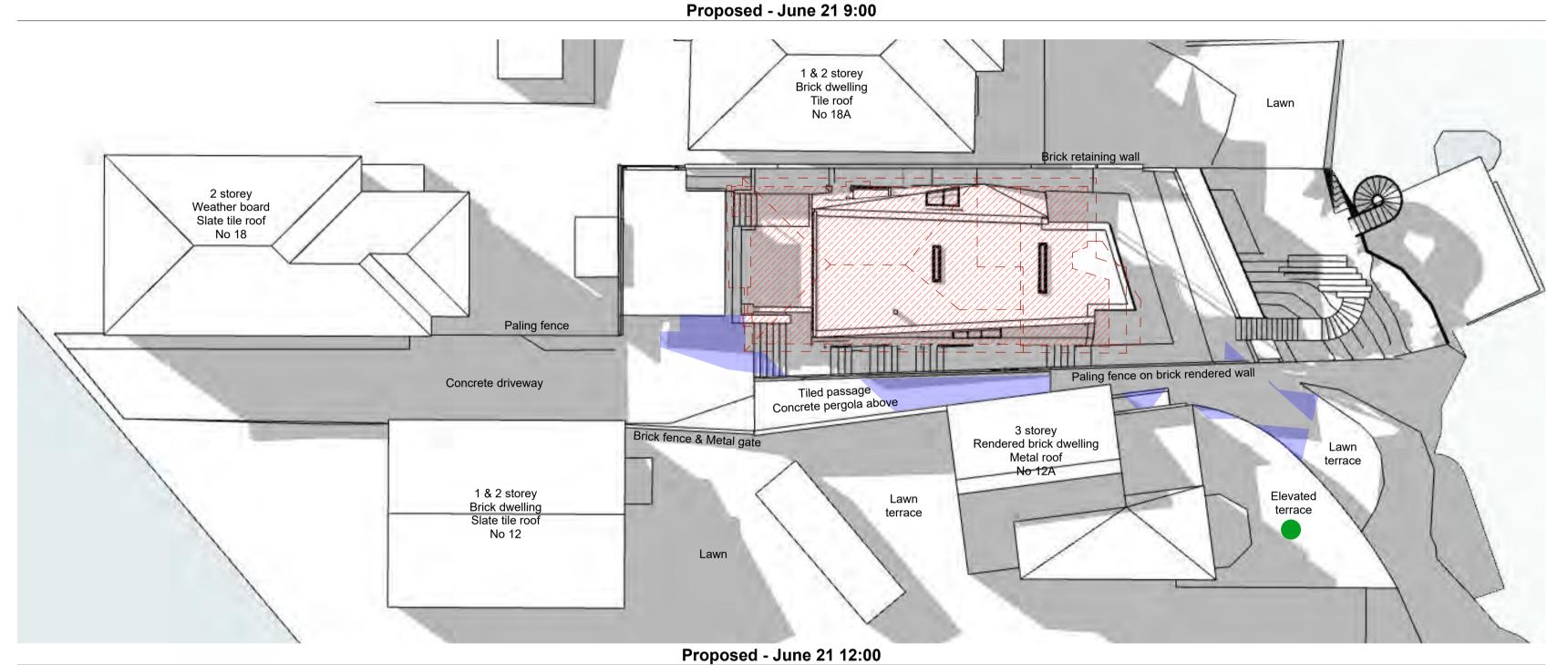
Assessor Jamie Bonnefin Accreditation No. 10056 Address

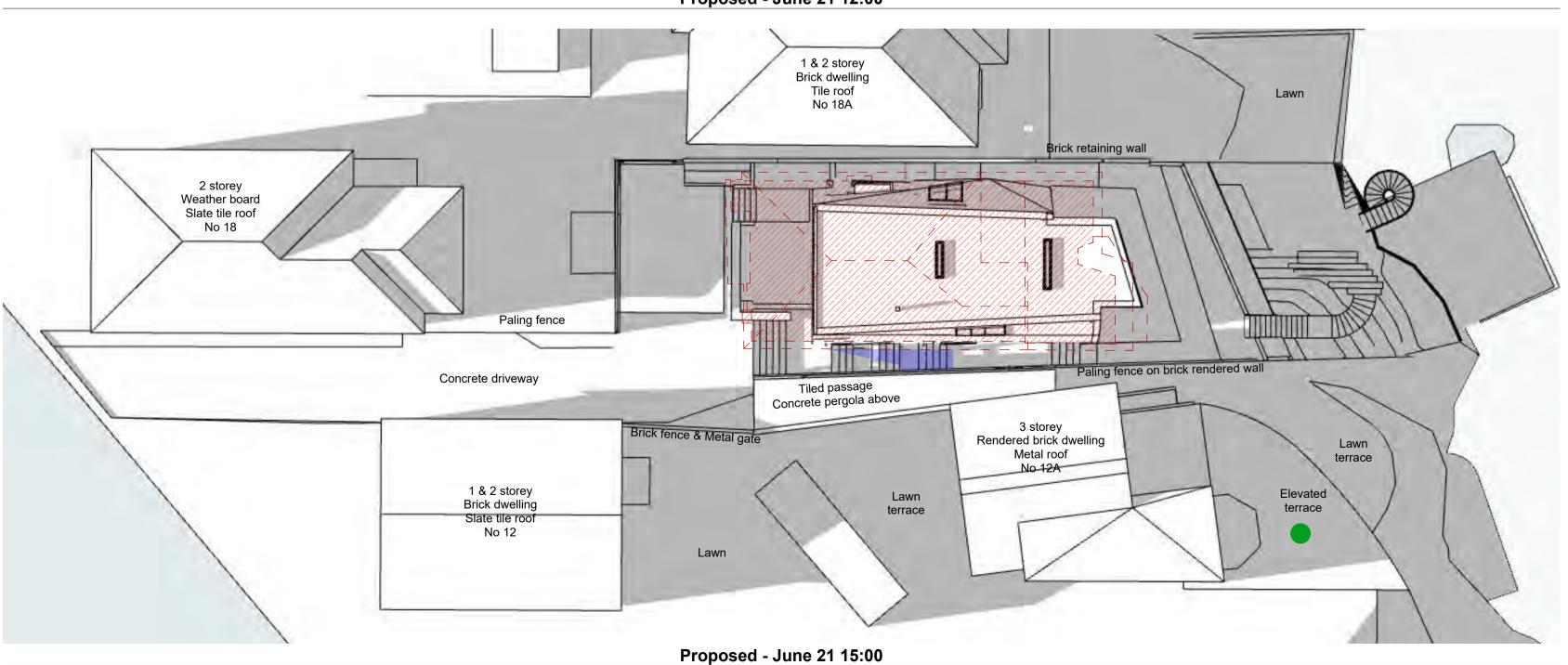
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Existing building footprint



Existing shadow



Additional shadow



Primary private open space

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16 Addison Rd, Sydney

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uss Designer Buildable	Layouts Ltd.
otechnical Engineer Chambers	s Consultants Ltd.
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	designed	**	peer review	**
	drawn	**	checked	**
_	scale 1:100 (@ A1	date 8/07/20)22

Shadow Diagram Plans June 21

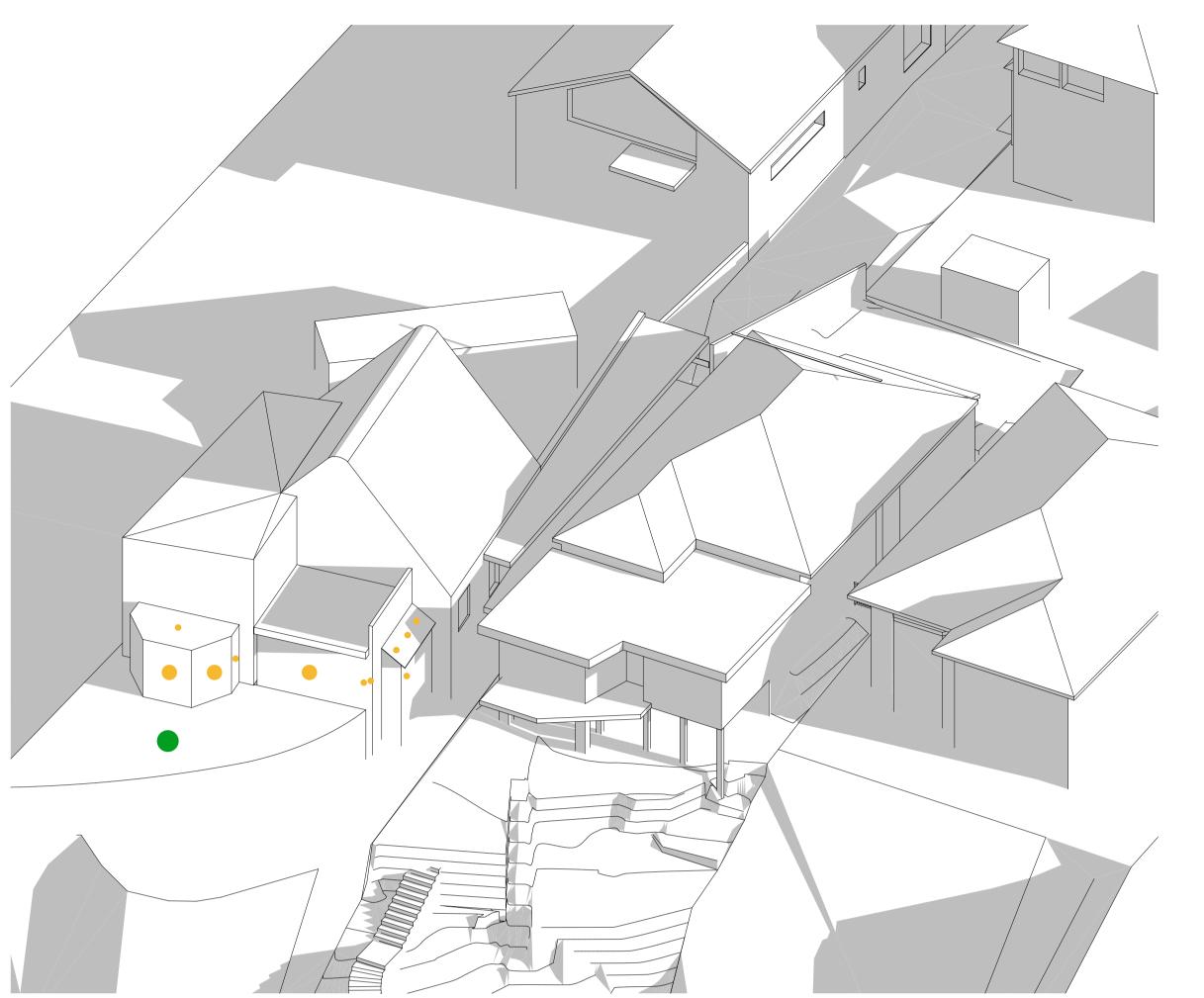
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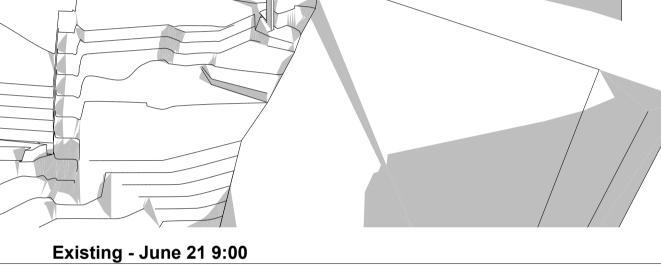
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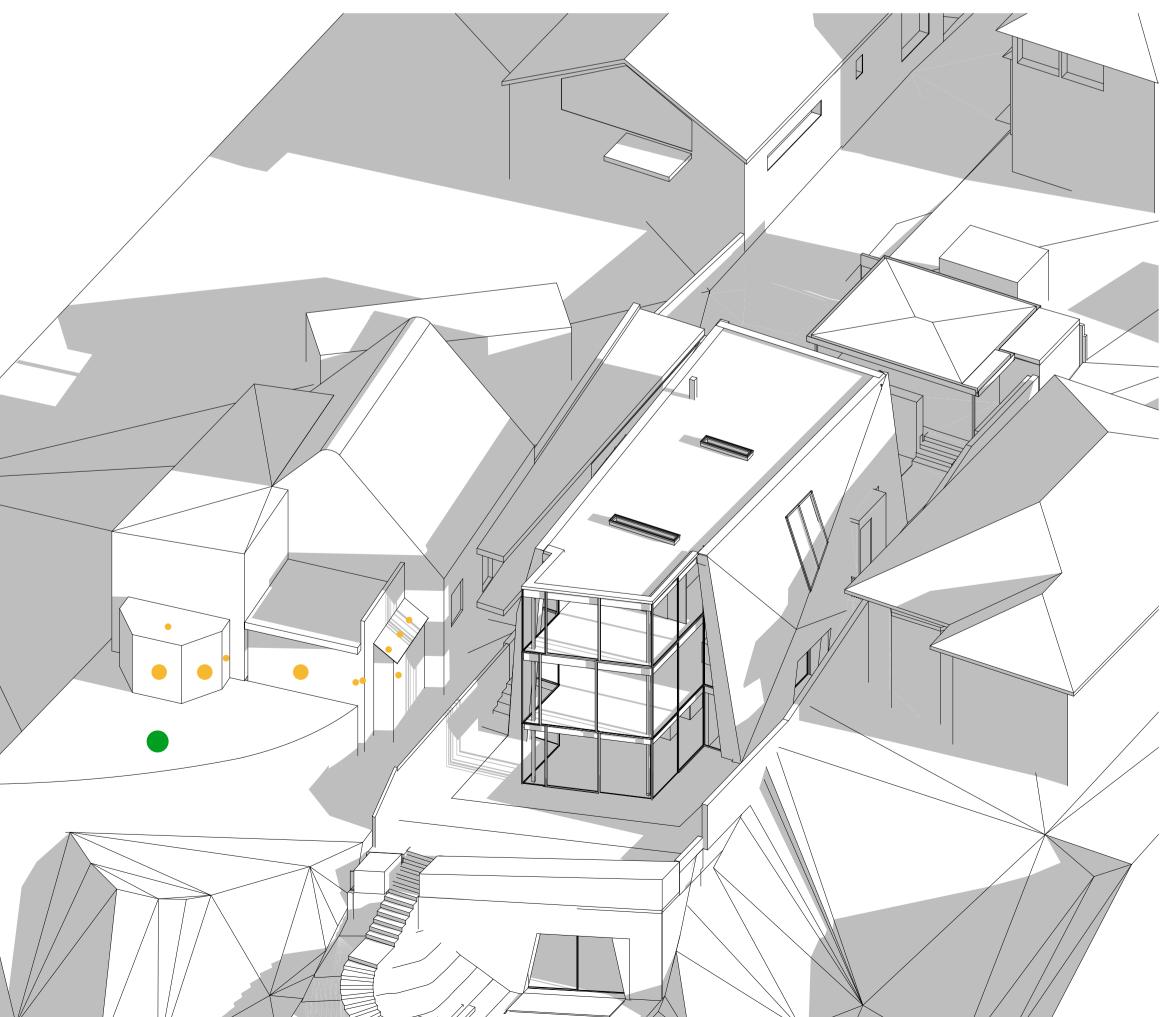
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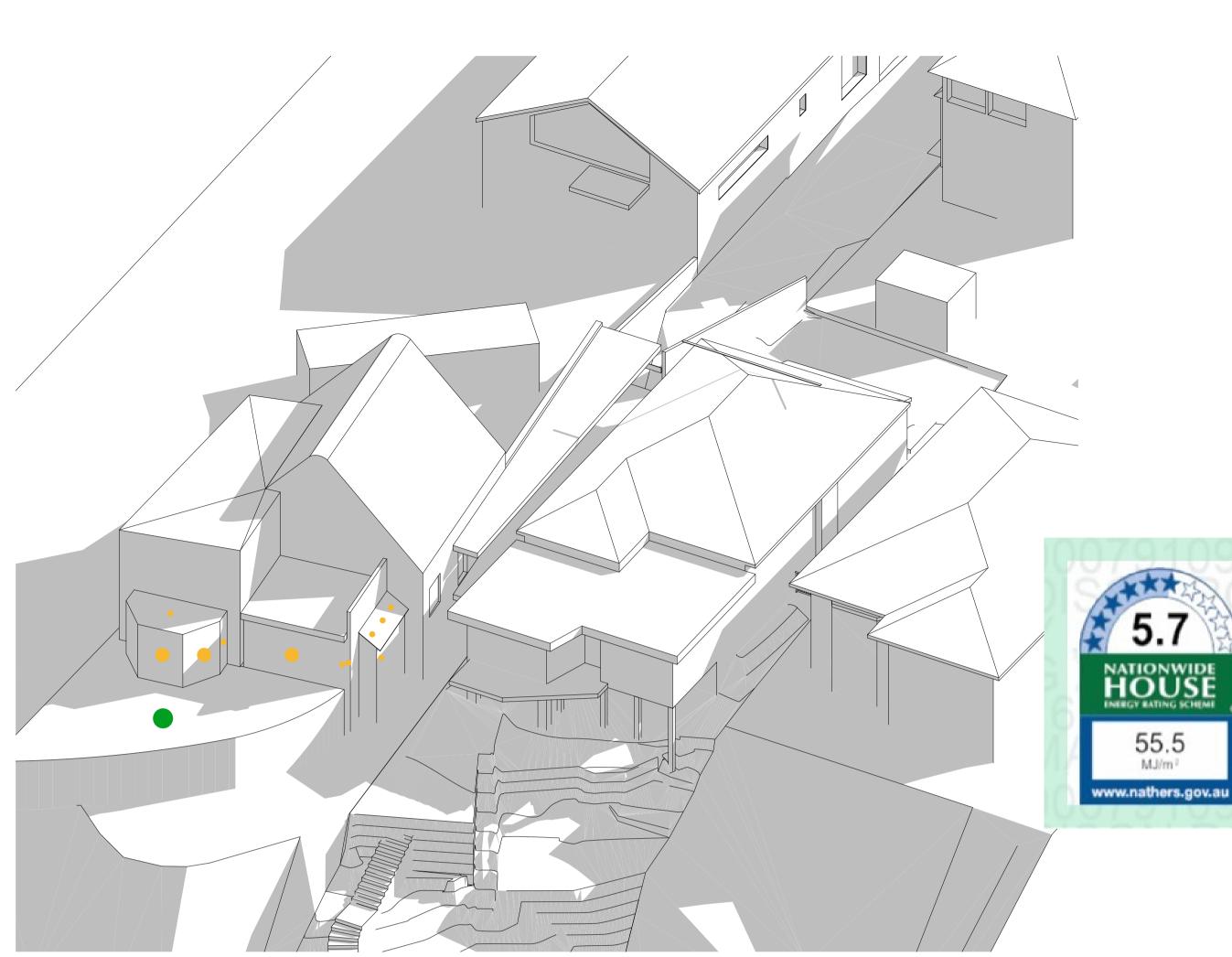
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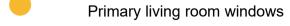








Proposed - June 21 12:00





0007910912-04 01 Aug 2022

Assessor Jamie Bonnefin Accreditation No. 10056 Address

16 Addison Road, Manly, NSW, 2095

HOUSE INTERGY RATING SCHEME



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16 Addison Rd, Sydney

O	Dage Museus & Dages and Ltd
Quantity Surveyors	Dean, Murray & Partners Ltd.
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Geotechnical Engineer	Chambers Consultants Ltd.
designed **	peer review **

designed		peer review		
drawn	**	checked	**	
scale 1:	100 @ A1	date 8/07/	2022	

Shadow Diagram 3D June 21 9:00 & 12:00

drawing set

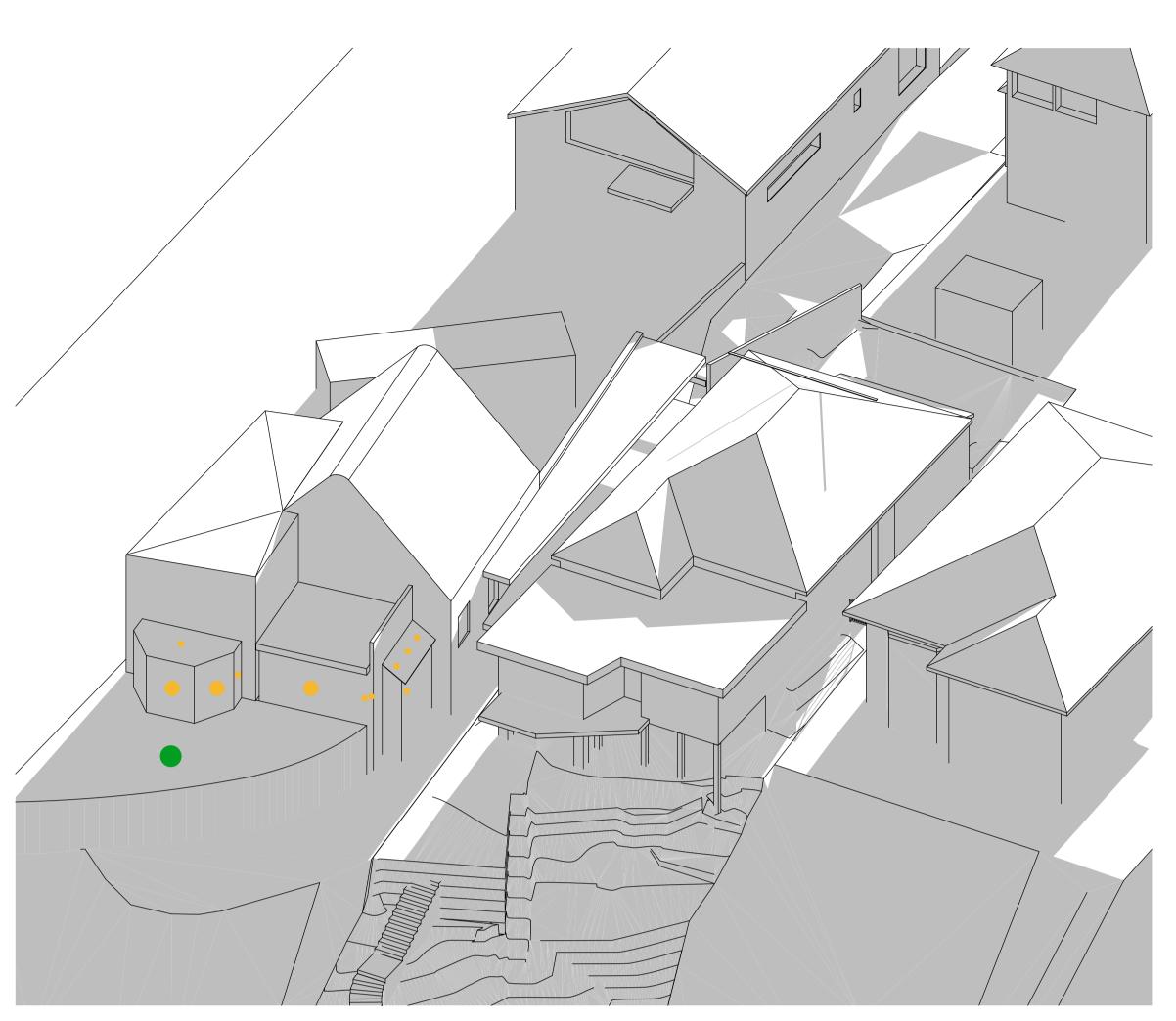
Consultants

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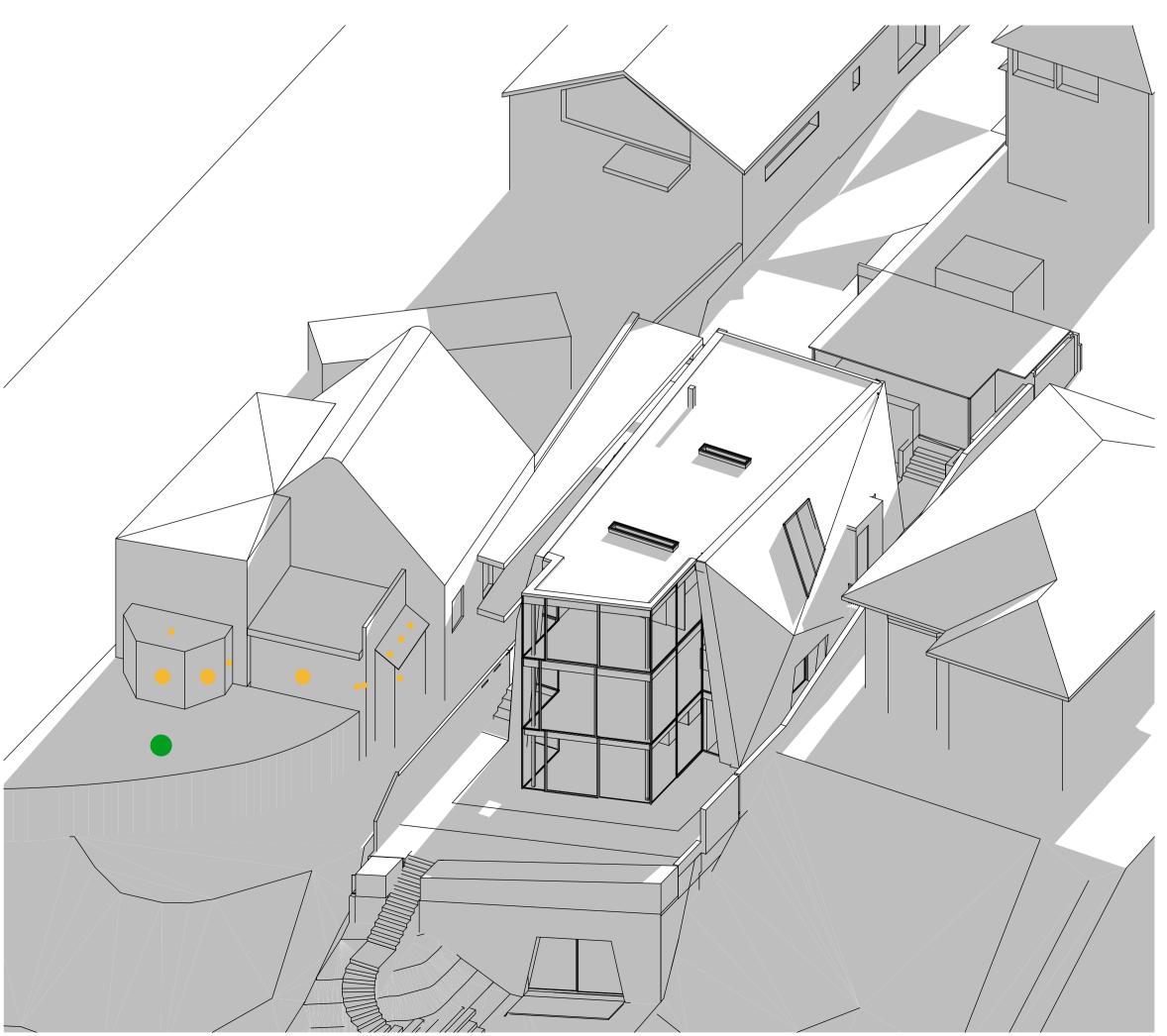
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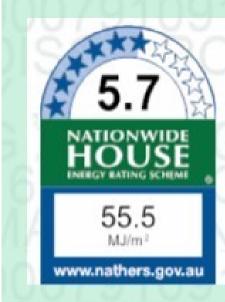
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Existing - June 21 15:00



Proposed - June 21 15:00



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Assessor Jamie Bonnefin Accreditation No. 10056 Address 16 Addison Road, Manly, NSW, 2095



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Primary living room windows

Primary private open space

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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P.O. BOX 8778 SYMONDS ST, AUCKLAND, NEW ZEALAND TELEPHONE (09) 303-4004 FACSIMILE (09) 303-4001

16 Addison Rd, Sydney

Consultants	
Quantity Surveyors	Dean, Murray & Partners Ltd
Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**
scale 1:1	00 @ A1	date 8/07/2	022

Shadow Diagram 3D June 21 15:00

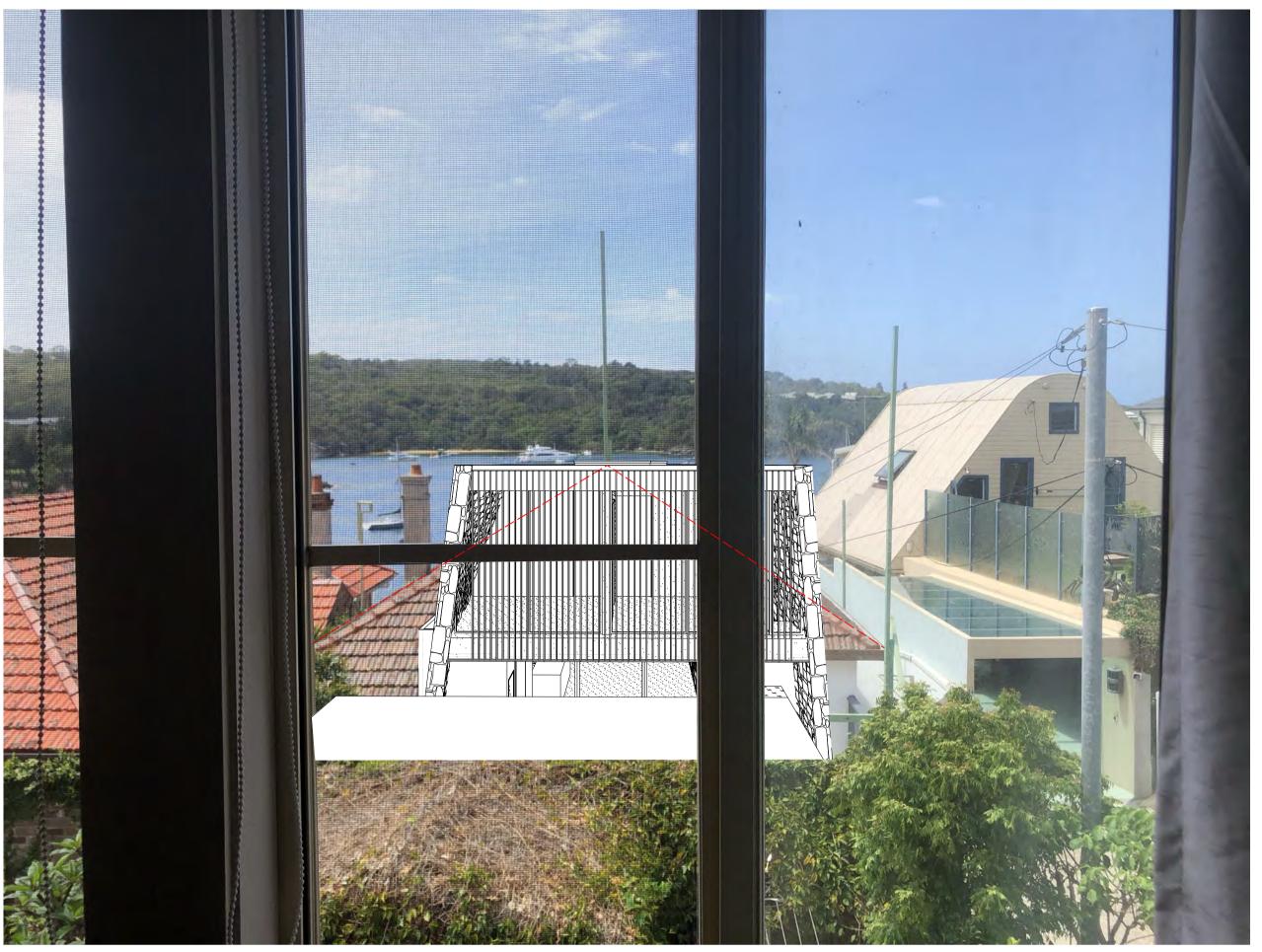
drawing set

New Development Application Not For Construction

18010

sheet no.

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IMG_3623 5/22-26 Addison Road - Upstairs Living Room [PROPOSED]
Proposed Residence Overlaid

IMG-3623 PHOTOGRAPH DETAILS Camera: iPhone 8 Plus Size: Shot: ISO: 2048 x 1535 1/1600sec f/1.8 3.99mm Height: RL 20,010 approx 22-26 ADDISON ROAD **IMG-3627 PHOTOGRAPH DETAILS** iPhone 8 Plus Camera: **18A ADDISON ROAD** Size: 2048 x 1535 Shot: ISO: Height: 1/4000sec f/1.8 3.99mm RL 20,010 approx EAST carport 18 ADDISON ROAD 454 254 254 274 8477 PROPOSED RESIDENCE 16 ADDISON ROAD **LMG_3623** POLE 54900 12A ADDISON ROAD **12 ADDISON ROAD 10 ADDISON ROAD**

Neighbour View Impact - Key Plan

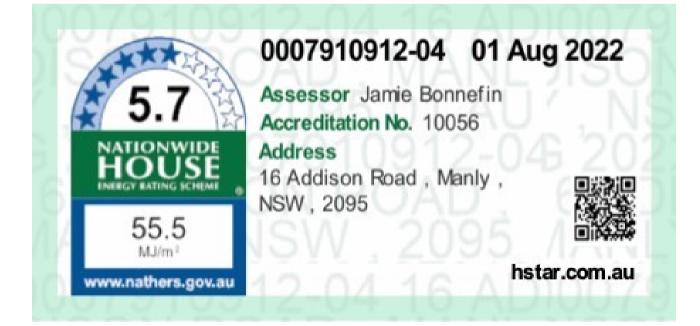


IMG_3627

1:200

18 Addison Road - Upstairs Living Room Right Window [PROPOSED]

Proposed Residence Overlaid



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16 Addison Rd, Sydney

Quantity Surveyors Dean, Murray & Partners Ltd. Structural Engineers Law Sue Davison Ltd. Buildable Layouts Ltd. Geotechnical Engineer Chambers Consultants Ltd. designed ** peer review **

designed	**	peer review	**
drawn	**	checked	**
scale		date 1/07/20	022

title

Consultants

Neighbour View Impact No. 12 Addison Road

drawing set

New Development Application

Not For Construction

18010 sheet no.

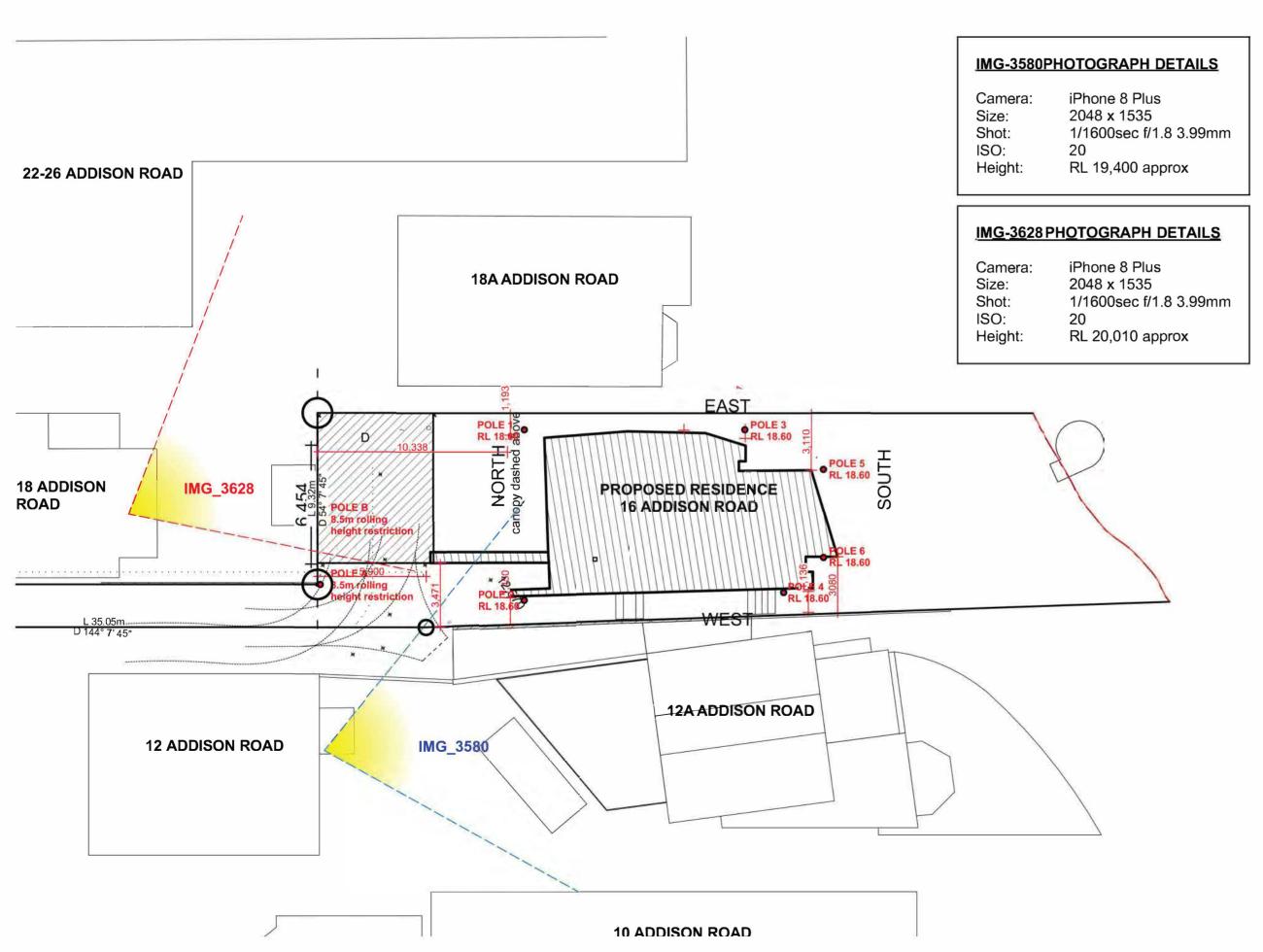
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IMG_3580 12 Addison Road - Balcony [PROPOSED]

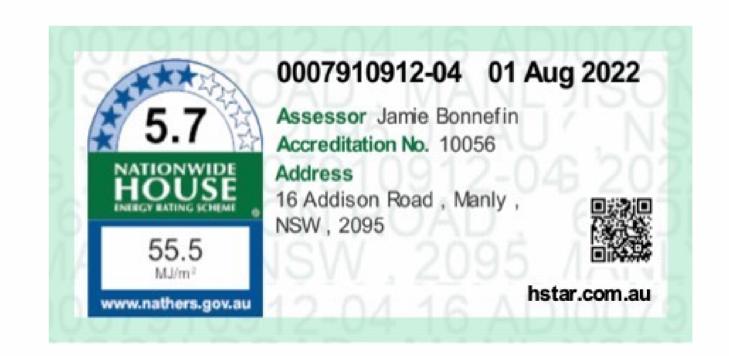


Neignbour View Impact - Key Plan



IMG_3628

18 Addison Road - Upstairs Living Room Right and Left Windows [PROPOSED]



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Quantity Surveyors		Dean, Murray 8	Partners Ltd
Structural Engineers		Law Sue Davise	on Ltd.
Truss Designer		Buildable Layou	uts Ltd.
Geotechnical Engineer		Chambers Consultants Ltd.	
designed	**	peer review	**
drawn	**	checked	**

scale

Neighbour View Impact No.18 & No.12 Addison Road

date 1/07/2022

drawing set

New Development **Application**

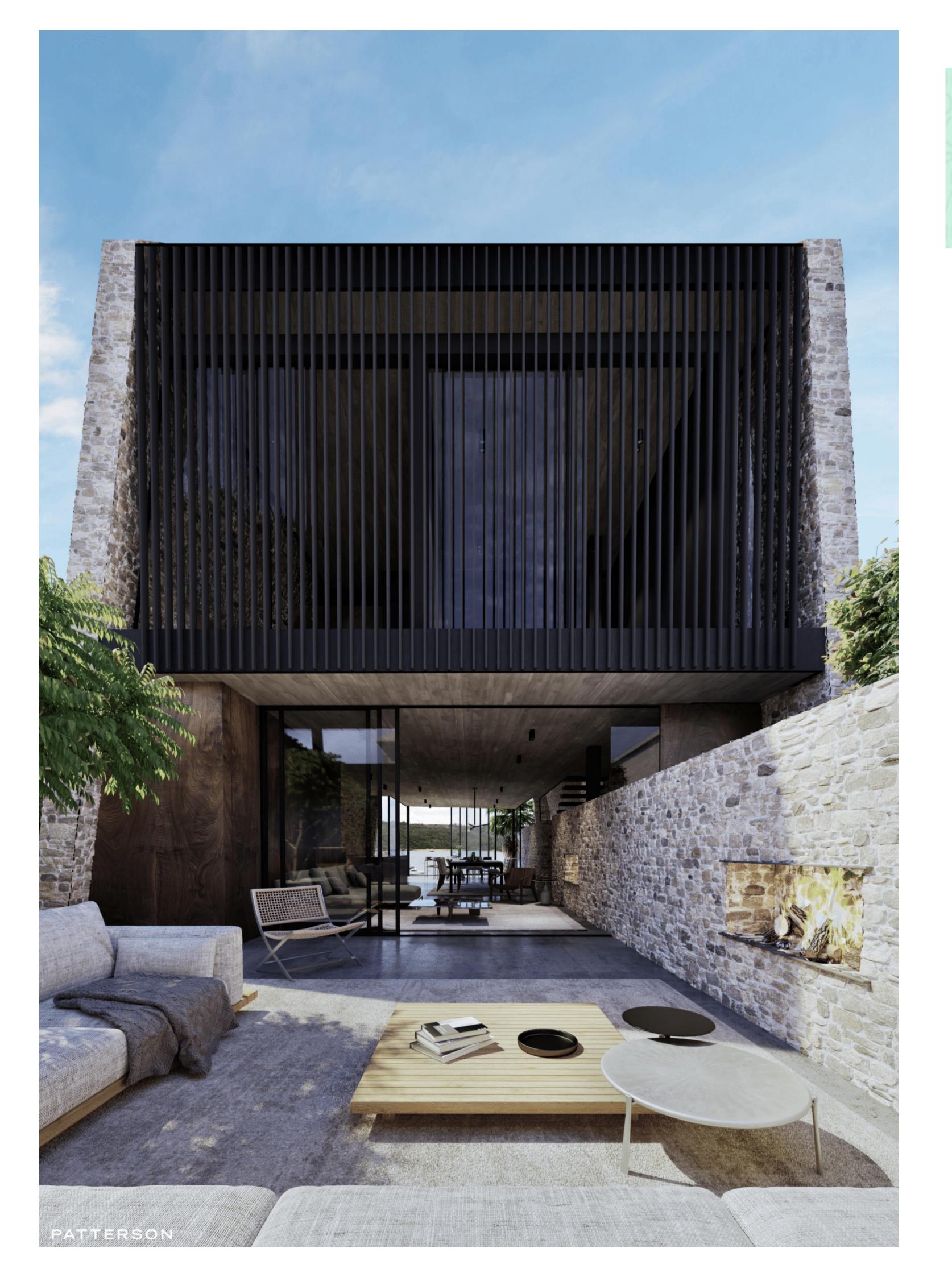
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Assessor Jamie Bonnefin Accreditation No. 10056 Address 16 Addison Road, Manly, NSW, 2095



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Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**
scale		date 8/07/20)22

Artist Impression - North

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18010

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Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

_	designed	**	peer review	**
C	drawn	**	checked	**
s	scale		date 8/07/20)22

Artist Impression - South

New Development Application Not For Construction

18010

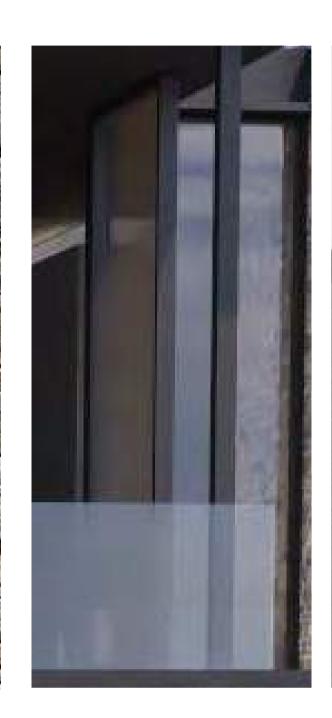
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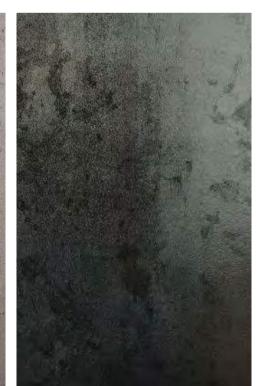






EXTERIOR





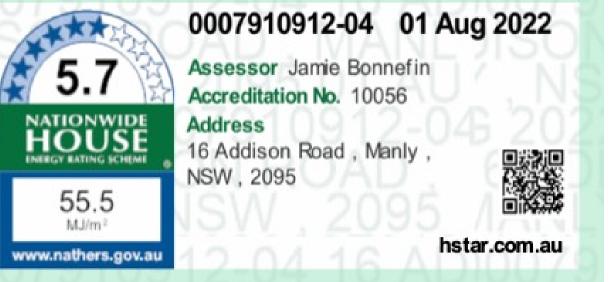








INTERIOR



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Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd
designed **	neer review **

designed	**	peer review **
drawn	**	checked **
scale		date 8/07/2022

Material Palette

drawing set

New Development Application Not For Construction

18010

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BASIX Project Proposed:	Commitments Single Dwelling		BASIX Number: 11839125_0	15	
ddress:	16 Addison Rd Manly				
ot No / DP:	2/325220				
Vater ixtures			Specification		
Shower head rat	ting		4 star (> 6 but <= 7.5 L/min)		
Toilet rating			3 star		
Kitchen taps rati			3 star		
Bathroom taps r	rating		3 star		
Alternative wate	er details				
Rainwater tank		Individual	4000L		
Connected to:	Garden and lawn areas All toilets		Yes Yes		
	Laundry		No		
Thermal Comfor External walls	rt	Accreditation Number:	HERA 10056 Requirements	NatHERS Number: 0007910912-04	
Stone, lined			Medium colour R2.7	Bulk + Anti-glare foil	
nternal walls					
	ct fix plasterboard		R1.8 Bulk Insulation		
Concrete block			No Insulation		
Stone			No Insulation		
Ceiling					
External ceiling			R5.0 Bulk insulation		
Internal ceiling -	- Plasterboard		No insulation		
Roof					
Waterproofing r	membrane		Light Colour (solar absorptar	nce <0.475)	
			No insulation		
Floors					
Concrete slab or	n ground		R1.8 Bulk Insulation		
Suspended conc	rete slab	Exposed areas only	R2.5 Bulk Insulation		
Windows					
			Double argon-fill low-e glazi	ing with U-value 4.8 and SHGC 0.34 for Group B windows (double hung, fixed,	
Aluminium fram	ne ALM-006-04		louvres and sliding type wind		
Aluminium fram	ne ALM-005-04		Double argon-fill low-e glazi casement and tilt 'n' turn ty	ing with U-value 4.8 and SHGC 0.34 for Group A windows (awning, bifold,	
			casement and the fireturn ty	pe willdows/ doors/	
Skylights Double Glazed S					
Ceiling Penetrat			Approved fireproof downligh	nt covers must be installed to all downlights in ceilings where insulation is	
Downlight Covers		installed.			
Lighting specific	cation		Dwelling is rated without do	ownlight	
			_		
Ceiling fans			Ceilings fans of 1200mm mu	eilings fans of 1200mm must be installed in the rooms mentioned in the NatHERS report	
Overshadowing	details		Adjoining units calculated in	to model calculations	
Site					
Orientation of n	nominal north elevation		As shown on plans		
Energy					
Hot water			Specification	Rating	
ndividual syster	m		Electric storage	N/A	
Ventilation					
Bathroom exhau	ust		Individual fan, not ducted		
Control swite			Manual switch on/off		
Control swite			Individual fan, not ducted Manual switch on/off		
Laundry	CTT		Individual fan, not ducted		
Control swite	ch		Manual switch on/off		
Cooling					
	ms - living areas		1-phase airconditioning	EER < 2.5	
	ms - bedroom areas		1-phase airconditioning	EER < 2.5	
Heating					
Heating Individual syster	ms - living areas		1-phase airconditioning	EER < 2.5	
	ms - bedroom areas		1-phase airconditioning	EER < 2.5	
Appliances Cooktop/oven			Induction cooktop & electric	oven	
Ventilated fridge	e space		No		
Private outdoor	clothes drying line		Yes		
	r sheltered clothes drying line		No No		
Zoned Air-condi	uoning		No		
Alternative Ener	rgy				
Alternative Eller					
Photovoltaic Sys	stem		15kW		



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